



The Town of Summerville  
200 S. Main Street  
Summerville, South Carolina 29483  
(P) 843-851-5211 (F) 843-851-5214  
[dbest@summervillesc.gov](mailto:dbest@summervillesc.gov)

Friday, January 15, 2016

<b>Bid Number:</b>	N/A	<b>Bids will be received until:</b>	<del>February 15, 2016 2:00 p.m.</del> February 16, 2016 2:00 p.m.
<b>Bid Title: Hutchinson Square Renovation Phase 1</b>			
<b>Mailing Date:</b>	<b>Direct Inquiries to:</b> Doyle Best		
<b>Vendor Name:</b>	<b>FEIN/SS#:</b>		
<b>Vendor Address:</b>	<b>State Contractor #:</b>		
<b>City – State – Zip:</b>			
<b>Telephone Number:</b>		<b>Fax Number:</b>	
<b>Minority or Women Owned Business:</b> Are you a certified Minority or Women-Owned business in the State of South Carolina? <input type="checkbox"/> Yes <input type="checkbox"/> No If so, please provide a copy of your certificate with your response.			
<b>Authorized Signature:</b> _____		<b>Title:</b> _____	
<b>Date:</b> _____			
I certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder. <b>This signed page must be included with bid submission.</b>			



## **Invitation to Bid**

### **Hutchinson Square Renovation Phase 1**

The Town of Summerville (hereinafter referred to as “Town”) is seeking sealed bids for Phase 1 of the renovation of Hutchinson Square (located at 102 South Main Street | Summerville, SC 29483) to include concrete paving, site electrical and irrigation installation.

Bid packages will be available beginning **Friday, January 22, 2016** on the Town website ([www.summervillesc.gov/rfp](http://www.summervillesc.gov/rfp)) under the Formal Sealed Bids/Proposals/Quotes menu. Sealed bids are due by **2:00 p.m. on ~~Monday February 15, 2016~~ Tuesday, February 16, 2016** and will be opened and publicly read in the 2<sup>nd</sup> floor training room at Summerville Town Hall Annex, located at 200 S. Main Street, Summerville, SC 29483. **Late bids will not be accepted, NO EXCEPTIONS.**

All inquiries and questions related to this project must be submitted in writing, via email, to the Parks & Recreation Manager ([dbest@summervillesc.gov](mailto:dbest@summervillesc.gov)) so that they can be addressed through a posted addendum. All registered bidders will receive an e-mail notification when project addendums are posted. The cut-off date for questions is **Friday, February 5, 2016 at 12:00 p.m.** Any and all addendums issued will be posted to the Town’s website ([www.summervillesc.gov/rfp](http://www.summervillesc.gov/rfp)) and will become an official part of the bid package. **All addendums will need to be signed and included with the submitted bid package.** Any bid packages which do not include the signed addendum(s) will be disqualified.

The Town reserves the right to reject any and all bids, to waive all formalities and to award the contract as it appears to be in the best interest of the Town. The right is also reserved to hold any and all bids for a period not exceeding ninety (90) days from the opening thereof.

This solicitation does not commit the Town to award a bid or contract, to pay any cost incurred in the preparation of the response or to procure or contract for goods or services listed herein.

The Town reserves the right to reject any and all responses, to cancel this solicitation and to waive any technicality, if deemed to be in the best interest of the Town.



## BIDDER REGISTRATION FORM Hutchinson Square Renovation Phase 1

**Fax to:** **Name: Doyle Best**  
**Title: Parks & Recreation Manager**  
**Fax #: 843-851-5214**

**(or) E-mail to:** [dbest@summervillesc.gov](mailto:dbest@summervillesc.gov)

Bidders are required to submit this form via e-mail or fax, to become registered as a firm interested in this solicitation and to ensure receipt of any amendments to the solicitation referenced above. Please print clearly.

\_\_\_\_\_  
Company Name, as registered with the IRS

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Correspondence Address

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
City, State, Zip

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
Federal Tax ID (FEIN)/SS Number

\_\_\_\_\_  
Fax Number

\_\_\_\_\_  
SC General Contractors License

\_\_\_\_\_  
Cell Number

\_\_\_\_\_  
E-mail

TYPE OF BUSINESS ENTITY *(check one)*:

\_\_\_\_ Individual/Sole Proprietor

\_\_\_\_ Partnership

\_\_\_\_ Corporation

\_\_\_\_ Limited Liability Company

\_\_\_\_ Other *(please specify: \_\_\_\_\_)*



## **Qualifications**

1. Contractors shall be familiar with concrete paving, site electrical and irrigation, and masonry work.
2. Contractors shall have the appropriate contractor's license to perform the scope of work outlined in this solicitation.
3. Each bid must be secured by a bid bond from an approved bonding or insurance company, authorized to do business in the State of South Carolina, in an amount not less than ten percent (10%) of the total bid amount.

## **Bid Process**

The Town will conduct the selection of a licensed and qualified contractor and issue a contract award in the following manner:

- 1) This document will be made available to all interested bidders on the Town's website: [www.summervillesc.gov/rfp](http://www.summervillesc.gov/rfp)
- 2) Bids will be received and evaluated as described in this contract bid package. The lowest qualified bid may be awarded the contract for the outlined project work.
- 3) At the conclusion of the bid process, qualified bids will be presented to Town officials for review and approval.
- 4) The Town will notify all registered bidders of the winning bidder of the contract award. A complete bid sheet will also be posted to the Town's website after the bid evaluation process has been completed.

## **Schedule of Events**

The following chart outlines the schedule of events, in order of occurrence, for project milestones:

<b>MILESTONE EVENT</b>	<b>DATE</b>
1. Bid Package Issuance	January 22, 2016
2. Deadline for Submittal of Questions	February 5, 2016, 12:00 p.m.
3. Bid Due Date	February 15, 2016, 2:00 p.m. February 16, 2016, 2:00 p.m.
4. Bid Evaluation Completed	On or Before March 1, 2016
5. Contract Award	TBD
6. Project Begins	TBD
7. Project Completion	TBD

The Town reserves the right to change the schedule of events, as it deems necessary. In the event of a major date change, the Town may notify known and registered participants. The Town also reserves the right to issue addenda to this "Sealed Bid" up to five (5) days before the bid opening date, as





necessary, to clarify the Town's desire or to make corrections. The Bidder will acknowledge receipt of all addenda in their proposals.

## **Bid Submittal Instructions**

Bidders must submit **one (1) original and two (2) copies** of their bid on or before **2:00 p.m.** (local time) on **Monday, February 15, 2016** **Tuesday, February 16, 2016** to:

Town of Summerville  
Attn: Doyle Best  
Parks & Recreation Manager  
200 S. Main Street  
Summerville, SC 29483

Bidders may mail or hand-deliver their "Sealed Bid" to the Town's Purchasing Agent. Please show the "Bid Title" on the outside of any mailed package. The Town assumes no responsibility for unmarked or improperly marked envelopes. If directing any other correspondence, bidders should address envelopes to the Purchasing Agent and include the bid reference on the envelope. If the Bidder chooses not to respond to this solicitation, it is recommended that he/she return the enclosed "No Bid Response Form" to the Purchasing Agent.

- All bids should be clearly marked **Hutchinson Square Renovation Phase 1**
- It will be the sole responsibility of the bidder to have their bids delivered to the Parks & Recreation Manager before the scheduled bid opening. Any bid received after the Parks & Recreation Manager has declared that the time set for the opening has arrived shall be rejected, unless the bid has been delivered to the Parks & Recreation Manager's office or the governmental bodies mail room which services the Parks & Recreation Manager's Agent prior to the bid opening [R.19-445.2070(H)].
- Bids having any erasures or corrections must be initialed in ink by the bidder. The bid must contain the signature of the duly authorized officer of the bidder and must be signed in ink.
- All bids must be valid for a period of ninety (90) days following the bid opening.
- Bids must address all requirements. Partial bids will be rejected.
- All costs incurred by the bidder in preparing this bid, or costs incurred in any other manner by the bidder in responding to this bid will be the sole responsibility of the bidder. All materials and documents submitted by the bidder in response to this solicitation become the property of the Town and will not be returned to the vendor.
- Any proprietary information contained in the proposal should be so indicated.
- Bids will be considered, as specified or attached hereto, under the terms and conditions of this solicitation.



- Bids must be made in the official name of the firm or individual under which business is conducted (showing official business address) and must be signed in ink by a person duly authorized to legally bind the person, partnership, company or corporation submitting the proposal.
- Bidders are to include all applicable requested information and any additional information that they wish to be considered. Bid submittals should utilize bid sheet provided in this document.
- Due to the possibility of negotiation with any bidder submitting a bid which appears to be eligible for contract award, pursuant to the selection criteria set forth in this bid, the Town reserves the right to select the bid that appears to be in its best interest and to negotiate with any of the prospective bidders.

**BIDS SUBMITTED VIA FACSIMILE MACHINE, OR E-MAIL, WILL NOT BE ACCEPTED.**



## **SPECIFICATIONS**

1. The Contractor shall adhere to all specifications provided in the construction documents (see attachment).
2. The Contractor shall provide proof of liability insurance and Worker's Compensation Insurance with his bid submittal.
3. Unless otherwise approved by the Parks & Recreation Manager, all work shall be performed in daylight hours.
4. Where necessary, the Contractor shall erect and maintain traffic control devices (barricades, warning signs, traffic cones, etc.) in accordance with the Manual of Uniform Traffic Control Devices, latest edition.
5. The Contractor is responsible for locating all existing utilities within the limits of the project and shall be responsible for repairing any damaged utilities at no cost to the Town.
6. Bids will be awarded on a lump sum basis. Bidders are highly encouraged to visit the job site before submitting bids.
7. Unit sum bid amounts shall include all necessary materials, tools, equipment, personnel and any other appurtenances required to perform the job with a high level of workmanship.
8. Any contractor who has not been contracted by the Town within the past five (5) years must submit at least three (3) references. The reference information shall include a contact name and phone number, type of project completed, date project was completed and the contract amount.
9. The Town reserves the right to waive minor inconsistencies in the bid packages and to reject any and all bids. The successful bidder shall be the Contractor who, in the sole opinion of the Town, will provide the highest quality project, in a timely and cost efficient manner. The successful bidder may or may not be the lowest bidder.
10. The bidder that is awarded the contract must submit/have a Town business license before starting work.



**NOTICE OF DISCLAIMER:**

This list of provisions is being provided to each bidder to aid in his ability to give a fair and competitive bid and should not be construed as a contract or any guarantee of the award of this bid. Instead, the listed provisions are only to assist the bidder in understanding what is expected and will be required of all Contractors bidding on this job.

\_\_\_\_\_  
Initials

\_\_\_\_\_  
Date

**General Notes:**

- A. The Contractor shall be responsible for clean-up of all debris resulting from his work. Any debris removed from the jobsite, by the Contractor, shall be lawfully disposed of at an approved landfill site.
- B. The Contractor shall provide protection of his work.
- C. The Contractor's work shall be performed in accordance with a schedule established after the award of the project contract.
- D. The Contractor shall provide evidence of Worker's Compensation, Commercial General Liability, Owners and Contractor's Protective Liability and Automobile Liability insurances, in compliance with the Town's established limits.

\_\_\_\_\_  
Initials

\_\_\_\_\_  
Date



## **GENERAL PROVISIONS/INSTRUCTIONS TO BIDDERS**

1. Bids, amendments or withdrawal requests must be received by the time advertised for bid opening to be timely filed. It is the Bidder's sole responsibility to ensure that all required bid documents are received by the Town at the time indicated in this solicitation document. Any withdrawal request received after the time of bid opening must have proper approval of the Town Engineer and Purchasing Agent.
2. Bidders must clearly mark as **"Confidential"** each part of their bid which they consider to be proprietary information that could be exempt from disclosure under section 30-4-40, Code of Laws of South Carolina, 1976 (1986 Cum. Supp.) (Freedom of Information Act). If any part is designated as confidential, there must be attached to that part, an explanation of how this information fits within one or more categories listed in section 30-4-40. The Town reserves the right to determine whether this information should be exempt from disclosure and no legal action may be brought against the Town, or its agents, for its determination in this regard.
3. By submission of a bid, the Bidder guarantees that all goods and services meet the requirements of the solicitation during the contract period.
4. The Town reserves the right to award this solicitation by line item, by lot or by total using the award method that is in the best interest of the Town, unless stated otherwise elsewhere in this solicitation.
5. All amendments to and interpretations of this solicitation shall be in writing and issued by the Town Engineer and/or Purchasing Agent. The Town shall not be legally bound by any amendment or interpretation that is not in writing.
6. All Addendum and Award Notices will be posted on the Town's website: [www.summervillesc.gov/rfp](http://www.summervillesc.gov/rfp), under the Formal Sealed Bids/Proposal/Quotes menu.
7. Drug Free Workplace: (Note: This clause applies to any resultant contract of \$50,000.00 or more.) The State of South Carolina has amended Title 44, Code of Laws of South Carolina, 1976, relating to health, by adding Chapter 107, so as to enact the Drug Free Workplace Act. (See Act. No. 593, 1990 Acts and Joint Resolutions). By submission of a signed solicitation, you are certifying that you will comply with this act. (See Section 44-107-30).
8. This solicitation is intended to promote full and open competition. If any language, specifications, terms and conditions or any combination thereof restricts or limits the requirements in this solicitation to a single source, it shall be the responsibility of the interested Bidder to notify the Town, in writing, no later than five (5) business days prior to the scheduled due date and time.
9. The Town reserves the right to waive any Instruction to Bidders, General or Special Provisions, General or Special Conditions or specifications deviation if deemed to be in the best interest of the Town.
11. Default: In case of default by the Contractor, the Town reserves the right to purchase any or all items in default in the open market, charging the Contractor with any excessive costs. Should such charge be assessed, no subsequent response will be accepted from the defaulting Contractor until the assessed charge has been satisfied.



12. Price Condition: All prices shall be firm-fixed type, unless stated otherwise. Also, all submitted responses shall remain effective for a minimum period of ninety (90) calendar days.
13. Response Form: All responses shall be printed in ink or typewritten. When required, additional pages may be attached.  
  
A "No Response" qualifies as a response; however, it is the responsibility of the Bidder to notify the Purchasing Agent if he receives solicitations that do not apply.
14. Response Period: All responses shall be good for a minimum period of ninety (90) calendar days.
15. Response Withdrawal: Any responses may be withdrawn prior to the established closing date and time, but not thereafter, without proper approval from the Town Engineer and Purchasing Agent.
16. Bidders' Qualifications: The Town reserves the right to request satisfactory evidence of the Bidder's ability to furnish services in accordance with the terms and conditions listed herein. The Town further reserves the right to make the final determination as to the Bidder's ability to provide said services.
17. Insurance Requirements: The Contractor shall not commence work under this bid until he has obtained all insurance listed within this section and the designated Town Official and Town Attorney have approved such insurance coverage. Insurance certificates are required from the General Contractor, service providers and all subcontractors performing work on the project.

**WORKER'S COMPENSATION INSURANCE:** The Contractor shall provide and maintain during the life of this contract, the statutory Workers Compensation Insurance of \$1,000,000 as required by all applicable Federal, State, Maritime or other laws including Employers Liability for all of his employees to be engaged in work on the project under this contract, and in case any such work is sublet, the Contractor shall require the subcontractor similarly to provide Statutory Workmen's Compensation and Employer's Liability Insurance of \$1,000,000 for all of the latter's employees to be engaged in such work. The requirements for Worker's Compensation Insurance coverage will not be waived.

**LIABILITY INSURANCE:** The Contractor shall provide and maintain during the performance of work under this Bid, General Liability and Property Damage insurance in the following amounts, to protect himself, his agents and his employees from claims for damage for personal injury, including wrongful and accidental death and property damage which may arise from operations under this bid, whether such operations be performed by himself or his employees.

GENERAL LIABILITY     \$1,000,000 Per Person /\$1,000,000 Each Occurrence  
PROPERTY DAMAGE     \$1,000,000 each Occurrence  
AGGREGATE \$2,000,000

**COMPREHENSIVE AUTOMOBILE LIABILITY.** The Contractor shall provide and maintain during the performance of work under this bid, Comprehensive Automobile Liability Insurance, including protection for liability arising out of owned, non-owned and hired vehicles. The policy



shall be extended to provide contractual coverage for the Hold Harmless Agreement, which is part of these Instructions to Bidders. The limits of liability shall be as follows:

BODILY INJURY        \$1,000,000 Per Person/\$1,000,000 Each Occurrence  
PROPERTY DAMAGE   \$1,000,000 each Occurrence

**EXCESS OR UMBRELLA LIABILITY** with a limit of not less than \$1,000,000 per occurrence and \$2,000,000 aggregate.

Said insurance shall be written by a company or companies approved to do business in the state of South Carolina and acceptable to the Town. Before commencing any work hereunder, certificates evidencing the maintenance of said insurance shall be furnished to the Town.

The Town, its officials, employees and volunteers are to be covered as additional insured's as respects: liability arising out of activities performed by or on behalf of the Contractor, including the insured's general supervision of the contract; products and completed operations of the Contractor; premises owned, occupied or used by the Contractor; or automobiles owned, leased, hired or borrowed by the Contractor. The coverage shall contain no special limitations on the scope of protection afforded to the Town, its officials, employees or volunteers and it shall be stated on the Insurance Certificate with the provision that this coverage is primary to all other coverage the Town may possess.

Each insurance required by the Town shall be endorsed to state that coverage shall not be suspended, voided, cancelled by either party or reduced in coverage or in limits, except after thirty (30) days prior written notice has been given to the Town.

All certificates and endorsements must be received and approved by the Town within five (5) days after notification of the project award. It is required that the Town's Purchasing Agent receives an **original** certificate of insurance. Faxed copies are not acceptable. If you have any questions, please call 843-851-4205.

The Town shall withhold payments to the Contractor if the required certificates of insurance and endorsements are canceled or if the Contractor otherwise ceases to be insured as required herein.

18. Town Business License: The successful Contractor and any subcontractors, prior to execution of the contract, must possess or obtain a Town Business License. Such license must be maintained throughout the duration of the contract. Contact Marion Falcon at (843) 851-4215 to determine the exact amount or to ask other pertinent questions regarding doing business within the Town.
19. Bid and Performance Bonds: Each proposal must be secured by a bid bond from an approved bonding or insurance company, authorized to do business in the State of South Carolina, in an amount not less than ten percent (10%) of the total bid amount. The Bid Bond must be duly executed by the Bidder, as principal, and issued by a surety authorized to conduct business in South Carolina. Upon award, the Town shall require from the Contractor a satisfactory bond or security for the proper performance of the contract in an amount equal to the total amount of the award.





20. Bidders' Responsibility: Each bidder shall fully acquaint himself with conditions relating to the scope and restrictions relevant to the execution of the work outlined in this bid solicitation. It is expected that this will sometimes require on-site observation. The failure or omission of a bidder to acquaint himself with existing conditions shall in no way relieve him of any obligation with respect to this bid or to the awarded contract.
21. Exceptions and Deviations: Any bid that does not meet the specifications and design criteria must be accompanied by documentation identifying and justifying all exceptions and deviations.
22. Governing Laws: The laws of South Carolina shall govern this Agreement. All litigation arising under said Agreement shall be litigated only in a Circuit court for the First Judicial Circuit of Dorchester County, St. George, South Carolina. The prevailing party shall be entitled to attorney's fees and the cost of said litigation.
23. 7 % S. C. Sales Tax: Shall be added to the purchase order resulting from this solicitation. However, lump sum bid responses shall **include** all applicable taxes as a separate line item.
24. Prompt Payment Discount Terms: Prompt payment discount terms will be calculated from the point of complete order acceptance for services and/or commodities ordered.
25. "Or Approved Equal": Certain processes, types of equipment or kinds of material are described in the specifications and/or on the drawings by means of trade/brand names and catalog numbers. In each instance where this occurs, it is understood and inferred that such description is followed by the words "or approved equal". Such method of description is intended merely as a means of establishing a standard of comparability. However, the Town reserves the right to select the items that, in its judgment, are best suited to its needs based on price, quality, service, availability and other relative factors. Bidders must indicate brand name, model, model number, size, type, weight, color, etc. of the item bid if not exactly the same as the item specified. The Vendor's stock number or catalog number is not sufficient to meet this requirement.
26. Contract Period (if applicable): The initial term of the Agreement shall be for a period of sixty (60) days. The Town reserves the right to extend the Agreement if it determines an extension is in its best interest; said extension will be set by the Town for a period appropriate to complete remaining work.
27. Award Process: The Town shall select the most competitive response on the terms which are considered to be most advantageous for the Town. However, final approval may rest with members of Town Council.
28. Rejection: The Town of Summerville reserves the right to reject any bid that contains prices for individual items or services that are unreasonable when compared with the same or other bids if such action is in the best interest of the Town.
29. Correction of Errors on This Bid Form: All prices and notations should be printed in ink or typewritten. Errors should be crossed out and any corrections entered and initialed by the person signing the bid. Erasures or use of typewriter correction fluid may be cause for rejection. No bid shall be altered or amended after the specified time for bid opening.
30. Non-Appropriation: If Summerville Town Council fails to appropriate or authorize the expenditure of sufficient funds to provide for the continuation of this contract or if a lawful





order issued in, or for any fiscal year during the term of the contract, reduces the funds appropriated or authorized in such amounts as to preclude making the payments set out therein, the contract shall terminate on the date said funds are no longer available without any termination charges or other liability incurring to the Town.

31. Force Majeure: The Contractor shall not be liable for any excess costs if the failure to perform the contract arises out of causes beyond the control and without fault or negligence of the Contractor. Such causes may include, but are not restricted to, acts of God or of the public enemy, acts of the Government in either its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, freight embargoes, and unusually severe weather; but, in every case, the failure to perform must be beyond the control and without the fault or negligence of the Contractor. If the failure to perform is caused by default of a Sub-Contractor, and if such default arises out of causes beyond the control of both the Contractor and Sub-Contractor and without excess costs for failure to perform, unless the supplies or services to be furnished by the Sub-Contractor were obtainable from other sources in sufficient time to permit the Contractor to meet the required delivery schedule.
32. Arbitration: Under no circumstances and with no exception will the Town act as an Arbitrator between the Contractor and any Sub-Contractor.
33. Indemnification: The Town, its officials and employees shall be held harmless from liability from any claims, damages and actions of any nature arising from the use of any materials furnished by the Contractor, provided that such liability is not attributable to negligence on the part of the Town or failure of the Town to use the materials in the manner outlined by the Contractor in descriptive literature or specifications submitted with the Contractor's bid.
34. Guarantee: The Vendor/Contractor shall state his normal warranty and any extended warranties where available.
35. Save Harmless: (This General Condition **Does Not** Apply to Solicitations for Service Requirements). The successful bidder shall indemnify and save harmless the Town and its officials and employees from all suits or claims of any character brought by reason of infringing on any patent, trademark or copyright. The Bidder shall have no liability to the Town if such patent, trademark or copyright infringement or claim is based upon the Bidder's use of material furnished to the Bidder by the Town.
36. Publicity Releases: The Contractor agrees not to refer to award of this contract in commercial advertising in such a manner as to state or imply that the products or services provided are endorsed or preferred by the Town.
37. Quality of Products: (This General Condition **Does Not** Apply to Solicitations for Printing or Service Requirements). Unless otherwise indicated in this bid it is understood and agreed that any item offered or shipped on this bid shall be new and in first class condition, that all containers shall be new and suitable for storage or shipment and that prices include standard commercial packaging.
38. S.C. Law Clause: Upon award of a contract under this bid, the person, partnership, association, or corporation to whom the award is made must comply with the laws of South Carolina which require such person or entity to be authorized and/or licensed to do business in this state. Notwithstanding the fact that applicable statutes may exempt or exclude the



successful bidder from requirements that it be authorized and/or licensed to do business in this state, by submission of this signed bid, the bidder agrees to subject himself to the jurisdiction and process of the courts of the State of South Carolina as to all matters and disputes arising or to arise under the contract and the performance thereof, including any questions as to the liability for taxes, licenses or fees levied by the State.

39. Termination: Subject to the provision below, the contract may be terminated for any reason by the Town, provided a thirty (30) day advance notice in writing is given to the Contractor.
- a. Termination For Convenience: In the event that this contract is terminated or cancelled upon request and for the convenience of the Town without the required thirty (30) days advance written notice, then the Town may negotiate reasonable termination costs, if applicable.
  - b. Termination For Cause: Termination by the Town for cause, default or negligence on the part of the Contractor shall be excluded from the foregoing provisions; termination costs, if any, shall not apply. The thirty (30) days advance notice requirement is waived and the default provision in this bid shall apply. (See General Provisions #1 - Default)
40. Assignment: No contract or its provisions may be assigned, sublet or transferred without the written consent of authorized Town officials or employees.
41. Item Substitution: (This General Condition **Does Not Apply To Solicitations For Printing or Service Requirements**). No substitutes will be allowed on an issued purchase order without permission from the Town.
42. Restriction/Limitations: No purchases are to be made from this contract of any item that is not listed or of any item that is currently authorized under any contract awarded prior to this contract.
43. Purchases From Other Sources: (This General Condition **Does Not Apply To Solicitations For Printing or Service Requirements**). The Town reserves the right to bid separately any unusual requirements or large quantities of the items specified in the proposed contract.
44. Gratuities and Kickbacks
- a. Gratuities: It shall be unethical for any person to offer, give or agree to give any employee or former employee, or for any employee or former employee to solicit, demand, accept or agree to accept from another person a gratuity or an offer of employment in connection with any decision, approval, disapproval, recommendation, preparation or any part of a program requirement or a purchase request, influencing the content of any specification or procurement standard, rendering of advice, investigation, auditing, or in any other advisory capacity in any proceeding or application, request for ruling, determination, claim or controversy, or other particular matter pertaining to any program requirement of a contract or subcontract, or to any solicitation or proposal therefore.
  - b. Kickbacks: It shall be unethical for any payment, gratuity or offer of employment to be made by or on behalf of a subcontractor under a contract to the prime contractor, or to hire any subcontractor, or any person associated therewith, as an inducement for the award of a subcontractor or order.

**HUTCHINSON SQUARE  
PHASE 1 - UNIT PRICE SCHEDULE**

WORK ITEM	UNIT	A&E QUANTITY	CONTRACTOR QUANTITY	x	UNIT PRICE	=	TOTAL COST
<b><u>CONTRACTORS GENERAL CONDITIONS</u></b>							
General Conditions	LS	1					
					SUBTOTAL	=	
<b><u>SITE PREPARATION / DEMOLITION</u></b>							
Removal of Existing Power Meters	LS	1					
Removal of Existing Concrete Sidewalk & Curbing at Little Main	SY	500					
Saw cut and Remove Existing Asphalt	SY	80					
Inlet Protection of Existing Storm Drains	EA	4					
					SUBTOTAL	=	
<b><u>ELECTRICAL</u></b>							
Replace Existing Acorn Light Fixtures Along Main Street with LED Fixtures (Both Sides)	EA	18					
New Acorn & Pedestal Lighting at Little Main Business	EA	13					
Landscape Lighting (Grand Oaks Only, 2 fixtures per tree)	EA	14					
Electrical Conduit	LS	1					
Electrical Outlets (GFI Duplex Receptacle Pedestal)	EA	12					
Handhole with Flex Cable to Quad GFI Receptacle in Tree	EA	16					
New Meter Locations and Power Center	LS	1					
					SUBTOTAL	=	
<b><u>IRRIGATION</u></b>							
Hunter Pro-C 4-Station Base Module Controller with (1) PCM-300 3-Station Plug-in Module	EA	1					
Hunter WRF Series Wireless Rain/Freeze-Click	EA	1					
Hunter PGV-101 1" Series Electric Valve	EA	7					
Rain Bird #5RC Series 1" Quick-Coupling Valve	EA	2					
10" NDS Pro Series Valve Box	EA	9					
Hunter Pro-04 Series 4" Pop-up Sprayhead w/ MP Rot. Nozzle	EA	30					
Hunter Pro-12 Series 12" Pop-up Sprayhead w/ MP Rot. Nozzle	EA	12					
14-1 P.E. Jacketed Control Wire	LF	1,500					
1" Lateral PR-200 PVC Pipe	LF	1,160					
1-1/4" Mainline PR-160 PVC Pipe	LF	280					
4" Sleeve Schedule 40 PVC Pipe	LF	40					
1" Sleeve Schedule 40 PVC Pipe	LF	40					
Lateral Fittings	LS	1					
Mainline Fittings	LS	1					
Miscellaneous Items (Cleaner, Primer, Cement, Tape, Flags, Etc.)	LS	1					
					SUBTOTAL	=	
<b><u>GENERAL CONSTRUCTION</u></b>							
4" Thick Concrete Sidewalk at Businesses along Little Main Street (Broom Finish)	SF	4,500					
Concrete Curbing (Along Business Side at Little Main)	LF	467					
Brick Paver Band in Sidewalk at Businesses along Little Main Street	SF	560					
Brick Paver Inlay at Light Poles	SF	170					
Detectable Warning Pavers	SF	42					
Concrete Wheel Stops	EA	36					
ADA Ramps	EA	2					
Driveway Ramp	EA	1					
Entrance Sign Walls	LS	1					
					SUBTOTAL	=	
					<b>TOTAL BASE BID</b>	=	



## NO BID RESPONSE FORM

<b>Bid Number:</b>	N/A	<b>Bids will be received until:</b>	February 15, 2016 2:00 p.m. February 16, 2016 2:00 p.m.
<b>Bid Title:</b> Hutchinson Square Renovation Phase 1			
<b>Mailing Date:</b>	<b>Direct Inquiries to:</b> Doyle Best		
<b>Vendor Name:</b>	<b>FEIN/SS#:</b>		
<b>Vendor Address:</b>			
<b>City – State – Zip:</b>			
<b>Telephone Number:</b>		<b>Fax Number:</b>	
<b>Minority or Women Owned Business:</b>			
Are you a certified Minority or Women-Owned business in the State of South Carolina? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>			
If so, please provide a copy of your certificate with your response.			
<b>Authorized Signature:</b> _____		<b>Title:</b> _____	
<b>Date:</b> _____			
<p>I certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a bid for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this bid and certify that I am authorized to sign this bid for the bidder. <b>This signed page must be included with bid submission.</b></p>			

To submit a “**No Bid**” response for this project, this form must be completed for your company to remain on our bidders list for commodities/services referenced. If you do not respond, your name may be removed from the bidders list.

Please check statement(s) applicable to your “**No Bid**” response

- ☐ Specifications are restrictive; i.e. geared toward one brand or manufacturer only (explain below).
- ☐ Specifications are ambiguous (explain below).
- ☐ We are unable to meet specifications.
- ☐ Insufficient time to respond to the solicitation.
- ☐ Our schedule would not permit us to perform.
- ☐ We are unable to meet bond requirements.
- ☐ We are unable to meet insurance requirements.
- ☐ We do not offer this product or service.
- ☐ Remove us from your vendor list for this commodity/service.
- ☐ Other (specify below).

**Comments:** \_\_\_\_\_  
 \_\_\_\_\_



### CERTIFICATE OF FAMILIARITY

The undersigned, having fully familiarized him or herself with the information contained within this entire solicitation and applicable amendments, submits the attached bid, and other applicable information to the Town of Summerville, which I verify to be true and correct to the best of my knowledge. I further certify that this bid response is made without prior understanding, agreement, or connection with any corporation, firm or person submitting a bid for the same materials, supplies or equipment, and is in all respects, fair and without collusion or fraud. I agree to abide by all conditions of this solicitation and certify that I am authorized to sign this bid. ***By submission of a signed bid, I certify, under penalty of perjury, that the company identified below complies with section 12-54-1020(B) for the SC Code of Law 1976, as amended, relating to payment of applicable taxes.*** I further certify all prices submitted shall remain effective for a minimum period of ninety (90) days, unless otherwise stated.

\_\_\_\_\_  
Company Name, as registered with the IRS

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Correspondence Address

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
City, State, Zip

\_\_\_\_\_  
Title

\_\_\_\_\_  
Date

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
Remittance Address

\_\_\_\_\_  
Fax Number

\_\_\_\_\_  
City, State, Zip

\_\_\_\_\_  
Cell Number

\_\_\_\_\_  
Federal Tax ID (FEIN)/SS Number

\_\_\_\_\_  
SC Sales Tax Number

\_\_\_\_\_  
SC General Contractors License

\_\_\_\_\_  
SC Sales Tax Number

TYPE OF BUSINESS ENTITY (*check one*):

\_\_\_\_ Individual/Sole Proprietor

\_\_\_\_ Partnership

\_\_\_\_ Corporation

\_\_\_\_ Limited Liability Company

\_\_\_\_ Other (*please specify*: \_\_\_\_\_)

**Note:** All information submitted in or in connection with a bid is submitted under penalty of perjury. The Town of Summerville shall have the right to terminate at any time any contract awarded pursuant to a bid that contains false information.



The above unit prices include all labor, materials, equipment, haulage, services, overhead, profit, insurance, and other incidentals to cover the complete work.

Submittal of this bid indicates the Bidder's compliance with the specifications or explanation of deviations, if applicable. These specifications are the minimum requirements for the outlined scope of project work. **Any** and **ALL** exceptions to these specifications shall be noted. A full explanation of the deviation, as to what is proposed, shall be provided on a separate page entitled "Exceptions to Specifications".

Start date required after receipt of Notice to Proceed- \_\_\_\_\_

Will you offer a prompt payment discount? Yes ☐ or No ☐ (Net 30 days)

**If Yes**, the Payment Discount is \_\_\_\_\_ % for payment within \_\_\_\_\_ calendar days, which will be computed from the date delivery is made and is accepted by the Town or the date a proper invoice is received, whichever is later.

PAYMENT DISCOUNTS SHALL BE CONSIDERED IN AWARDING THE CONTRACT AS SET FORTH IN THE "BID INSTRUCTIONS AND REQUIREMENTS", ENTITLED "PAYMENT DISCOUNTS".



### **Bidder Checklist**

- ☐ Completed Bid Schedule
- ☐ Bidder Registration Form
- ☐ Bid Bond
- ☐ Contractor's License
- ☐ Certificate of Familiarity
- ☐ Addendum's
- ☐ Proof of Liability Insurance
- ☐ Required Reference Information if Necessary
- ☐ CDBG Documentation
- ☐ Other: \_\_\_\_\_



## **Town of Summerville Community Development Block Grant Program Bidder Certification Forms**

The park renovation project outlined in this solicitation is being primarily funded by the U.S. Department of Housing and Urban Development through Community Development Block Grant #'s B-14-MC-45-0013 and B-15-MC-45-0013. As such, all participants must agree to comply with certain Federal regulations pertaining to the administration and execution of the solicited project.

All bidders must review and fully complete the attached forms and return them as part of their bid proposal packet. **Firms who do not submit or fully complete all required forms will be disqualified from further participation.**

The awarded contract will be made based on the criteria outlined in the bid solicitation package. Funds available for project completion **will not** be made available to potential candidates during the bid solicitation period.

Questions pertaining to the completion of these forms should be directed to:

Wenda Mistak, Grants Administrator

Phone: (843) 851-4234

E-Mail: [wmistak@summervillesc.gov](mailto:wmistak@summervillesc.gov)

**The Town of Summerville's Community Development Block Grant Program is primarily funded by the U.S. Department of Housing and Urban Development. The Town of Summerville does not discriminate on the basis of age, color, religion, gender, national origin, familial status or disability in the admission or access to, or treatment or employment in its federally assisted programs or activities.**



**CERTIFICATION REGARDING DEBARMENT, SUSPENSION  
AND  
OTHER MATTERS RELATED TO PUBLIC TRANSACTIONS**

- (1) The prospective contractor/firm certifies to the best of its knowledge and belief, that it and its principals:
- a. Are not presently debarred, suspended, proposed for department, declared ineligible or voluntarily excluded from covered transactions by any Federal department or agency.
  - b. Have not within a three-year period preceding this proposal been convicted of or had a civil judgment rendered against it for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain or performing a public (Federal, State, or local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
  - c. Are not presently indicated for or otherwise criminally or civilly charged by a governmental entity (Federal, State, or local) with commission of any of the offenses enumerated in paragraph (1)(b) of this certification; and
  - d. Have not within a three-year period preceding this application/proposal had one or more public transactions terminated for cause or default.
- (2) Where the prospective contractor/firm is unable to certify to any of the statements in this certification, such prospective participant shall attach an explanation to this proposal.

\_\_\_\_\_  
Name

Town of Summerville, SC  
Local Government Agency

\_\_\_\_\_  
Title

\_\_\_\_\_  
Firm/Contractor

Hutchinson Square Renovation- Phase I  
Project Name/Title

\_\_\_\_\_  
Street Address

\_\_\_\_\_  
City, State, Zip Code

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

## STATISTICAL INFORMATION

The information reported on this page is for statistical purposes only. All information will remain confidential and will be used only for reporting information **required** by the U.S. Department of Housing and Urban Development.

Note: To qualify as a minority contractor, or female-owned business, the business must be owned by **at least 51%** minority or female persons.

Please indicate below the information that is applicable to the ownership of the business:

### Race

- |  |   |
|--|---|
| <input type="checkbox"/> White                         | <input type="checkbox"/> Native Hawaiian/Other Pacific Islander |
| <input type="checkbox"/> Black/African American        | <input type="checkbox"/> Other Race                             |
| <input type="checkbox"/> Asian                         | <input type="checkbox"/> Two or More Races                      |
| <input type="checkbox"/> American Indian/Alaska Native |   |

### Ethnicity

- ☐ Hispanic  
☐ Non-Hispanic

### Sex

- ☐ Male  
☐ Female

### Other

- ☐ Minority  
☐ Disabled  
☐ Veteran  
☐ N/A

**\*\*Information provided on this form will in no way be used to provide preference to qualified bidders during bid solicitation review or awarding of the project contract.\*\***

## **OTHER GRANT RELATED CONDITIONS**

I, \_\_\_\_\_ the undersigned, certify that \_\_\_\_\_  
*Print Name* *Print Business Name*

agrees to comply with the following "Grant Related Conditions," as they pertain to administration and execution of the solicited project:

### **DAVIS BACON AND RELATED ACTS**

The Contractor certifies that it will comply with all requirements and regulations of Federal Labor Standards Provisions including Davis Bacon and Related Acts (DBRA) and will require full compliance with DBRA from any of its subcontractors. DBRA requires all contractors and subcontractors performing work on federally assisted contracts in excess of \$2,000 to pay their laborers and mechanics not less than the prevailing wage rates and fringe benefits for corresponding classes of laborers and mechanics employed on similar projects in the area. The prevailing wage rates and fringe benefits are the most current, as determined by the Secretary of Labor, for inclusion in this DBRA covered contract. The Department of Labor Wage Determination applicable to this project is **SC31** (Building Construction Type) for Dorchester County and should be posted at the job site in a location easily accessible to all project workers. Applicable Wage Determination can be viewed at: <http://www.wdol.gov/dba.aspx>.

Furthermore, in order to assist the Town with meeting the requirements of the Community Development Block Grant program, **the Contractor agrees to submit signed copies of each of its and its subcontractor's weekly certified payrolls, via form WH-347 or equivalent, to the Town's Grants Administrator during the duration of the project contract. The Town reserves the right to withhold invoice payments to the Contractor for failure to submit certified payrolls and any other DBRA documentation that may be requested.** The Contractor also certifies that it will make project workers available for interviews by Town of Summerville staff in order to verify that the Contractor is complying with the Federal Davis-Bacon prevailing wage requirements.

All Federal Labor Standards Provisions applicable to this project can be viewed at: <http://www.hud.gov/offices/adm/hudclips/forms/files/4010.pdf>.

### **SUBCONTRACTORS**

If the Contractor proposes to use personnel who are not employed by the Contractor in a full time capacity, the Contractor must specifically designate what portions(s) of the project the personnel will be responsible for and what percentage, in terms of time, of the project will be performed by such personnel. The Contractor shall be professionally liable for the work of such personnel and shall provide assurances to the Town that such personnel will devote sufficient time, to properly carry out the designated project work.

## **AUDITS AND REVIEWS**

At the Town's request, the Contractor shall, throughout the life of the contract and one year subsequent to the completion of the contract, participate in any Federal audits or monitoring visits. The Contractor's support shall include, but not be limited to, producing documentation, gathering data, preparing reports or correspondence, and assisting the Town in responding to questions associated with the contracted project.

## **EQUAL EMPLOYMENT OPPORTUNITY**

In carrying out the scope of work outlined in this solicitation, the Contractor shall not discriminate against any employee or applicant for employment based on race, color, religion, age, sex, familial status, disability or national origin.

## **UTILIZATION OF MINORITY FIRMS**

It is a national priority of the U.S. Department of Housing and Urban Development to award a fair share of Federally funded contracts to small and minority businesses. The Contractor should take steps to assure that small and minority businesses are utilized, whenever feasible, as potential sources for supplies, equipment, construction and services.

## **AMERICANS WITH DISABILITIES ACT (ADA)**

The Contractor certifies that it will comply with all requirements of Title I of the Americans with Disabilities Act of 1990, as applicable.

## **POLITICAL ACTIVITY**

The Contractor shall comply, as applicable, with provisions of the Hatch Act (5 U.S.C. §§1501-1508 and 7321-7326) which limit the political activities of employees whose principal employment activities are funded in whole or in part with Federal funds.

## **RESTRICTIONS FOR LOBBYING**

In accordance with 31 U.S.C. 1352, funds received under this contract may not be expended to pay any person, or influence, or attempt to influence, an officer, or employee of any agency, a member of Congress, an officer or employee of any agency, or an employee of a member of Congress in connection

with any of the following covered Federal actions: the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant loan, or cooperative agreement. This restriction is applicable to all subcontractors and must be included in all subcontracts.

---

Printed Name

---

Title

---

Signature

---

Date





(843) 871-6000

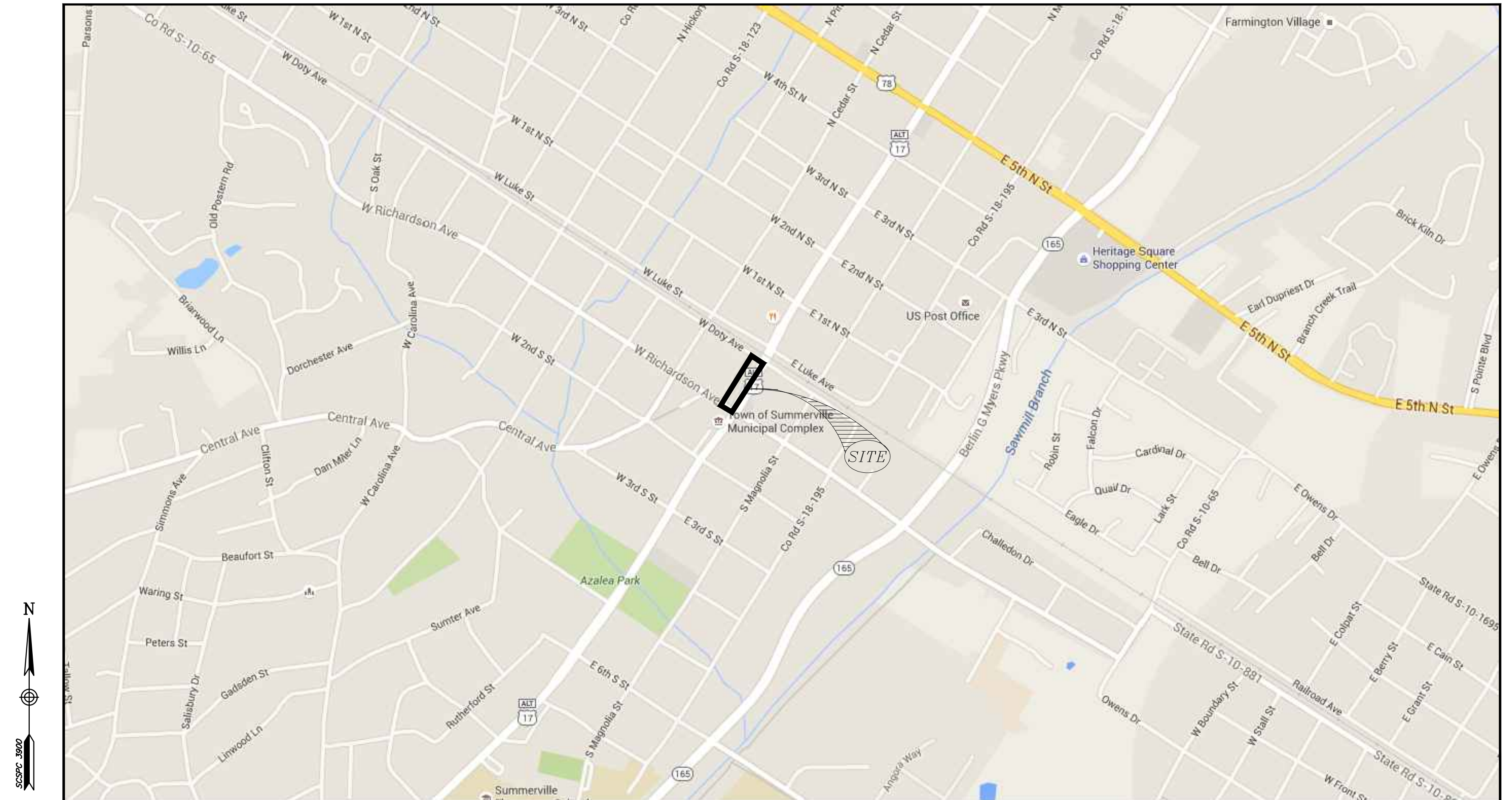
# Hutchinson Square Improvements - Phase I

December 22, 2015  
Project Number: 178420699



Know what's **below**.  
**Call** before you dig.

PROJECT CONTACTS			
SUBJECT	MUNICIPALITY / UTILITY PROVIDER	CONTACT	TELEPHONE
PARKS DEPARTMENT	TOWN OF SUMMERVILLE	DOYLE BEST	(843) 851-5211
PLANNING & ZONING	TOWN OF SUMMERVILLE	JESSI SHULER	(843) 851-4217
ROADS AND DRAINAGE	TOWN OF SUMMERVILLE	RUSSELL CORNETTE	(843) 851-4226
WATER	SUMMERVILLE CPW	R. CHRISTOPHER KAHLER	(843) 875-8761
SEWER	SUMMERVILLE CPW	R. CHRISTOPHER KAHLER	(843) 875-8761
ELECTRICAL POWER	SC&G	WILLIAM SELLER	(843) 851-4970
NPDES, LAND DIST.	SCDHCC - OCRM	RICHARD GEFER	(843) 953-0238



<u>INDEX</u>		
<u>SHEET NO.</u>	<u>TITLE</u>	<u>REVISION</u>
C1	COVER SHEET	
C2	PROJECT NOTES	
C3	OVERALL LAYOUT PLAN	
	TOPOGRAPHIC SURVEY	
C5-C6	DEMOLITION PLAN	
C7-C8	SITE LAYOUT & KEY PLAN	
C9-C10	GRADING & DRAINAGE PLAN	
C11-C14	SITE DETAILS	
E1.0	ELECTRICAL SITE PLAN - A	
E1.1	ELECTRICAL SITE PLAN - B	
E2.1	ELECTRICAL DETAILS	
I-1	IRRIGATION OVERVIEW	
I-2 - I-3	SPRAY IRRIGATION LAYOUT	
I-4	IRRIGATION DETAILS	

*This drawing is not to be used for construction purposes unless signed and sealed by the Engineer of Record and stamped "Approved For Construction." Use of this drawing for quantity take-offs and pricing is preliminary until all applicable permits have been obtained.*

[illegible]

File Name: 20699-cover-notes.dwg	JJL/MLS	CJH	JJL/MLS	12.11.2015
	Dwn	Chkd	Desn	MM DD YY



GENERAL NOTES:

1. TOWN OF SUMMERVILLE  
DOYLE BEST  
515 W. BOUNDARY ST  
SUMMERVILLE, SC 29485  
TEL: (843) 851-5211
2. ENGINEER: STANTEC CONSULTING SERVICES, INC  
JOSHUA J. LILLY, P.E.  
4969 CENTRE POINTE DR, SUITE 200  
NORTH CHARLESTON, SC 29418  
TEL: (843) 740-7700
3. VERTICAL DATUM USED WAS NAVD 88.
4. TOPOGRAPHIC INFORMATION AND ALL EXISTING CONDITIONS ARE BASED ON TOPOGRAPHIC SURVEY BY CORNERSTONE SURVEYING AND ENGINEERING, DATED DECEMBER, 2015. WETLANDS, CRITICAL AREAS, OTHER INDICATED ENVIRONMENTALLY SENSITIVE AREAS AND UNDISTURBED BUFFERS SHALL NOT BE DISTURBED EXCEPT WHERE SPECIFICALLY INDICATED WITHIN THESE CONSTRUCTION DOCUMENTS AND/OR AS AUTHORIZED BY THE USACE AND SCDEH-COORM.
5. THIS PROPERTY IS NOT LOCATED WITHIN A FEMA FLOOD ZONE F.E.M.A. INSURANCE RATE MAP (F.I.R.M.) PANEL NUMBER 4500730050.
6. CONTRACTOR IS TO VERIFY ALL INFORMATION CONTAINED HEREIN PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OR OWNER OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.
9. ALL CONSTRUCTION, METHODS, MATERIALS, AND WORKMANSHIP, NOT OTHERWISE INDICATED IN THESE PLANS, SHALL CONFORM TO STANTEC CONSULTING, INC. DIVISION II SPECIFICATIONS, LATEST EDITION. WHERE CONFLICT OCCURS BETWEEN CONSTRUCTION PLANS, SPECIFICATIONS, AND/OR FIELD CONDITIONS, CONTRACTOR IS TO CONTACT ENGINEER OR OWNER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO COORDINATE WITH OWNER AND ENSURE ALL APPLICABLE CONSTRUCTION AND LAND DISTURBANCE PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING ANY WORK.
11. CONTRACTOR AND/OR OWNER IS RESPONSIBLE FOR COORDINATING CONSTRUCTION WITH UTILITY COMPANIES, ADJACENT LAND DEVELOPMENTS OR OTHER EFFECTED THIRD PARTIES.
12. CONSULT WITH ARBORIST FOR ALL UTILITY AND CONDUIT INSTALLATION WITHIN THE DRIPLINE OF GRAND TREES TO DETERMINE AREAS THAT REQUIRE HAND DIGGING/ TRENCING TO LIMIT DISTURBANCE TO GRAND TREE ROOT ZONES. CONSULT WITH ARBORIST FOR ANY ROOT CUTTING OVER 1 1/2" IN DIAMETER..

SAFETY:

1. DURING THE CONSTRUCTION AND MAINTENANCE OF THE THIS PROJECT, ALL SAFETY REGULATIONS SHALL BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
3. CONTRACTOR SHALL PROVIDE AND MAINTAIN HIS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH HIS HEALTH AND SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES' AND SUB CONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUB CONTRACTORS AND SUB CONTRACTOR'S EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
4. ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES. AN REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
5. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
6. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE US DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION. ALL SOUTH CAROLINA AMENDMENTS SHALL APPLY.
7. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATION. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATION.
8. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.

PHASE I PHASING PLAN:

1. FROM THE NOTICE TO PROCEED UNTIL 7 DAYS PRIOR TO THE FLOWERTOWN FESTIVAL CONSTRUCTION IS LIMITED TO ELECTRICAL, IRRIGATION, AND STREET LIGHTING IMPROVEMENTS WITHIN HUTCHINSON SQUARE AND MAIN STREET ONLY. SIDEWALK IMPROVEMENTS ALONG LITTLE MAIN STREET TO BE CONSTRUCTED AFTER THE FLOWERTOWN FESTIVAL.
2. COORDINATION FOR THE SIDEWALK IMPROVEMENTS ALONG LITTLE MAIN STREET AND MAIN STREET TO BE SEQUENCED AS TO NOT ADVERSELY AFFECT PROPERTY OWNERS.
3. DEMOLITION, REGRADING, AND SIDEWALK IMPROVEMENTS ALONG LITTLE MAIN STREET AND MAIN STREET TO BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
4. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TO AN AREA OF TWO STORE FRONTS AT A TIME.
5. DEMOLITION OF THE ENTIRE SIDEWALK AT ONE TIME IS NOT ALLOWED.
6. THROUGH OUT CONSTRUCTION THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL BUSINESSES ALONG LITTLE MAIN STREET AND MAIN STREET DURING NORMAL BUSINESS HOURS.
7. THE CONTRACTOR SHALL ENSURE CONSTRUCTION RELATED ACTIVITIES ARE COMPLETED WITHIN A TIMELY MANNER.
7. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL BUILDING FACADES DURING CONSTRUCTION.

TOWN OF SUMMERVILLE STANDARD NOTES

1. SWPPP MUST BE KEPT ONSITE OR WITHIN THIRTY (30) MINUTES OF THE SITE AT ALL TIMES AND IN A DESIGNATED AREA THAT IS ACCESSIBLE TO THE INSPECTORS.
2. THE TOWN OF SUMMERVILLE SHALL NOT MAINTAIN STORMWATER DETENTION OR RETENTION PONDS. THE PROPERTY OWNER SHALL MAINTAIN ALL STORMWATER DETENTION FACILITIES SHOWN HEREIN.
3. SWPPP SHOULD INCLUDE A CONCRETE WASHOUT STAGING AREA FOR SITE AND BUILDING CONSTRUCTION AND ALL OTHER PURPOSES OF THE DEVELOPMENT TO INCLUDE BUT NOT BE LIMITED TO PAINTERS.
4. A CERTIFIED STORMWATER AS-BUILT MUST BE SUBMITTED TO DCPW PRIOR TO LETTER OF OCCUPANCY, CLOSEOUT PACKAGE, AND TO SCDEH PRIOR TO RECEIVING A NOTICE OF TERMINATION.
5. THE PROJECT/SITE MUST BE BUILT ACCORDING TO APPROVED TOWN AND SCDEH PLANS UNLESS SWPPP DOCUMENTS ARE UPDATED BY THE ORIGINAL SWPPP PREPAREER, OTHERWISE PERMITS AND APPROVALS WILL BE INVALIDATED.

CLEARING AND DEMOLITION:

1. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
2. THE TOP 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER OR THE OWNER'S ENGINEER TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER OR THE OWNER'S ENGINEER. THE REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
3. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS OR AS DIRECTED BY THE OWNER OR THE OWNER'S ENGINEER.

PAVING AND GRADING

1. ALL GRADING, MATERIALS & METHODS SHALL COMPLY WITH SCDOT STANDARDS.
2. ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER OR THE OWNER'S ENGINEER. EXCAVATED AREAS TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE PROTECTIVE SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
4. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
5. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
6. UNLESS OTHERWISE NOTED, ALL GRADING, ROCKING AND PAVING TO CONFORM TO SCDOT STANDARD SPECIFICATIONS, LATEST EDITION.
7. CLEAR AND GRUB WITHIN WORK LIMITS ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TREES EXCEPT AS APPROVED BY THE APPROPRIATE MUNICIPAL AUTHORITY OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS.
8. STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.
9. IMMEDIATELY FOLLOWING FINISH GRADING OPERATIONS, COMPACT SUBGRADE TO 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180.
10. ALL FILLS WITHIN PUBLIC RIGHT-OF-WAYS AND EASEMENTS SHALL BE ENGINEERED. ADDITIONALLY, ANY PUBLIC RIGHT-OF-WAYS OR EASEMENTS WHICH ARE OVER 2 FEET IN DEPTH SHALL BE ENGINEERED. ENGINEERED FILLS SHALL BE CONSTRUCTED IN 6" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR).
11. CRUSHED ROCK SHALL CONFORM TO THE REQUIREMENTS OF SECTION 02630 (BASE AGGREGATE) SCDOT STANDARD SPECIFICATIONS. COMPACT TO 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR). A.C. PAVEMENT SHALL CONFORM TO SECTION 00745 (ASPHALT CONCRETE PAVEMENT) SCDOT STANDARD SPECIFICATIONS FOR STANDARD DUTY MIX. A.C. PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 91% OF MAXIMUM DENSITY AS DETERMINED BY THE RICE STANDARD METHOD.
12. ALL EXISTING OR CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA WHEREIN THEY LIE.
13. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
14. ENGINEERED FILL MATERIAL SHALL NOT CONTAIN ROCKS OR HARD LUMPS GREATER THAN 3 INCHES IN MAXIMUM DIMENSIONS AND SHALL BE FREE OF VEGETATION, ORGANIC MATTER, DEBRIS, RUBBLE AND OTHER UNSUITABLE MATERIALS.
15. IMPORTED SOILS FOR USE AS ENGINEERED FILL SHALL BE NON-EXCLUSIVE MATERIALS AND SHALL NOT CONTAIN ROCKS OR HARD LUMPS GREATER THAN 3 INCHES IN MAXIMUM DIMENSIONS AND SHALL BE FREE OF VEGETATION, ORGANIC MATTER, DEBRIS, RUBBLE, AND OTHER UNSUITABLE MATERIALS.
16. AGGREGATE BASE MATERIAL SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

SIEVE SIZE (PER ASTM D422)	PERCENT PASSING BY WEIGHT
1 INCH	100
3/4	90-100
NO. 8	35-55
NO. 200	0-8

17. ALL AREAS TO RECEIVE FILL, AND AREAS OF STRUCTURES AND PAVEMENTS, SHALL BE STRIPPED OF VEGETATION, ORGANIC WATER, DEBRIS, RUBBLE, AND OTHER UNSUITABLE MATERIALS. STRIPPED SOILS SHALL NOT BE USED IN ENGINEERED FILL, BUT MAY BE USED IN LANDSCAPE AREAS.
- ENGINEERED FILL MATERIAL SHALL BE COMPACTED TO AT LEAST THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT, PER ASTM D698 (STANDARD PROCTOR)

ENGINEERED FILL MATERIAL	MINIMUM PERCENT COMPACTION	MOISTURE CONTENT (RANGE)
NATIVE SOIL	90%	OPTIMUM TO OPTIMUM PLUS 3%
ENGINEERED FILL UNDER STRUCTURES AND BEHIND RETAINING WALLS	95%	OPTIMUM TO OPTIMUM PLUS 3%
ENGINEERED FILL UNDER PAVEMENTS	95%	OPTIMUM TO OPTIMUM PLUS 2%
FILL IN LANDSCAPE AREAS	95%	2 TO 5% ABOVE OPTIMUM

- AGGREGATE BASE COURSE SHALL BE COMPACTED TO AT LEAST THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT, PER AASHTO T180 (MODIFIED PROCTOR)

ENGINEERED FILL MATERIAL	MINIMUM PERCENT COMPACTION	MOISTURE CONTENT (RANGE)
AGGREGATE BASE MATERIAL OR IMPORTED GRANULAR SOIL IN BUILDING AND PAVEMENT AREAS	100%	OPTIMUM PLUS OR MINUS 2%

- NOTE: MOISTURE CONTENT OF ENGINEERED FILL MATERIAL MAY REQUIRE ADJUSTMENT DURING CONSTRUCTION TO PREVENT SOIL PUMPING.
18. ENGINEERED FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 6 INCHES THICK (LOOSE). THE TOP 6 INCHES OF SOIL EXPOSED AT THE BOTTOMS OF THE EXCAVATIONS SHALL BE COMPACTED, SCARIFIED AND COMPACTED AS ENGINEERED FILL PRIOR TO PLACEMENT OF ADDITIONAL FILL.
20. IF SOFT OR LOOSE SOIL IS PRESENT AT THE BASE OF EXCAVATIONS, IT SHALL BE EXCAVATED AND/OR COMPACTED AS ENGINEERED FILL OR AS RECOMMENDED BY THE ENGINEER'S FIELD REPRESENTATIVE.
21. IF SUBGRADE SOILS EXHIBIT PUMPING DURING COMPACTION, THE AREA SHALL BE ALLOWED TO DRY UNTIL THE SOILS BECOME WORKABLE WITHOUT PUMPING. THE MOISTURE CONTENT OF THE SOILS SHALL BE ADJUSTED TO PREVENT PUMPING.
22. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES SHOWN. FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES EXPOSURE TO THE ENVIRONMENT MAY REDUCE THE STRENGTH OF SOILS IN PAVED AREAS. IF THIS OCCURS, THE SOFTENED SOILS SHALL BE REMOVED AND REWORKED IMMEDIATELY PRIOR TO CONCRETE PLACEMENT. IF RAINFALL IS EXPECTED AT A TIME WHEN BEARING SOILS IN FOOTING AREAS ARE EXPOSED, A 2 TO 4 INCH THICK LAYER OF LEAN CONCRETE MAY BE PLACED IN SUCH AREA.
- 23.THE SITE SHALL BE GRADED TO TRANSPORT SURFACE RUNOFF AWAY FROM THE PAVED AREAS. WATER SHALL NOT BE ALLOWED TO ACCUMULATE (POND) ON PAVED AREAS.
- 24.BACKFILL AND FILL SHALL CONFORM TO THE GENERAL REQUIREMENTS FOR SOIL MATERIALS ABOVE AND SHALL BE CLASSIFIED AS GW, GP, GM, GC, SW, SP, SM, SC, ML, CL BY ASTM D2487 AND SHALL CONFORM TO THE FOLLOWING:  
1. SHALL BE CAPABLE OF BEING COMPACTED TO THE SPECIFIED DEGREE OF COMPACTION WHEN THE MOISTURE CONTENT IS WITHIN 3 PERCENTAGE POINTS OF THE OPTIMUM PERCENT MOISTURE.  
2. LIQUID LIMIT SHOULD NOT EXCEED 40 PERCENT WHEN TESTED IN ACCORDANCE WITH ASTM D4318.  
3. PLASTICITY INDEX SHOULD NOT BE GREATER THAN 30 PERCENT WHEN TESTED IN ACCORDANCE WITH ASTM D4318.  
4. NO MORE THAN 75 PERCENT BY WEIGHT SHALL BE FINER THAN NO. 200 SIEVE WHEN TESTED IN ACCORDANCE WITH ASTM D1140.
- 25.UNSUITABLE SOIL SHALL BE ANY SOIL MATERIALS DETERMINED BY THE INDEPENDENT GEOTECHNICAL LABORATORY AS NOT CONFORMING TO THE REQUIREMENTS DESCRIBED ABOVE FOR BACKFILL AND FILL. A MOISTURE CONTENT WHICH IS MORE THAN 3 PERCENTAGE POINTS FROM OPTIMUM SHALL NOT BE CONSIDERED UNSUITABLE IF SUCH MATERIALS WOULD OTHERWISE BE SUITABLE IF THE MOISTURE CONTENT WERE ADJUSTED. ADJUSTMENTS TO THE SOIL MOISTURE CONTENT BY DRYING, MIXING, ADDING WATER, OR OTHER MEANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 26.MEASUREMENT OF UNSUITABLE MATERIAL: THE VOLUME OF UNSUITABLE MATERIAL EXCAVATION SHALL BE DETERMINED BY A LICENSED SURVEYOR USING THE END AREA METHOD. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCALED PLAN WITH SUFFICIENT ELEVATION POINTS TO ACCURATELY DEFINE THE VOLUME OF UNSUITABLE MATERIAL EXCAVATED. THE EXTENT OF UNSUITABLE MATERIAL EXCAVATION SHALL BE DETERMINED BY THE INDEPENDENT GEOTECHNICAL LABORATORY.
- 27.ALL PAINTED ARROWS AND OTHER SYMBOLS TO BE PER MUTCD AND SCDOT STANDARD SPECIFICATIONS.
- 28.BUILDING PADS SHALL BE STRIPPED AND COMPACTED TO 95% MODIFIED PROCTOR OR PER GEOTECHNICAL RECOMENDATION, THE MORE STRINGENT OF THE TWO.

EROSION CONTROL NOTES:

1. IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.  
-WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.  
-WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 12-500 ET SEQ. AND SCRI00000.
8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 10-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING. WHEEL WASH WATER, AND OTHER WASH WATERS, WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:  
-WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;  
-WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS  
-FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;  
-SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
18. IF EXISTING BMP'S NEED TO BE MODIFIED OR IF ADDITIONAL BMP'S ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.



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North Charleston, SC 29418  
Tel.

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Consultants

Legend

Notes


Revision	By	Appd.	YY.MM.DD
1. For Review	JUL/MLS	CJH	15.12.11
2. Release for bid	JUL/MLS	CHJ	15.12.23

Issued	By	Appd.	YY.MM.DD
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File Name: 680_COVER_NOTES.dwg			
	Dwn.	Chkd.	Dgn.

Permit-Seal			
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Client/Project

Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I

Summerville, SC

Title

PROJECT NOTES

Project No.	Scale	
178420699		
Drawing No.	Sheet	Revision

C2

2 of 14

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Know what's below.  
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Revision			
	By	Appd.	YY.MM.DD
1. For Review	JUL/MLS	CJH	15.12.11
2. Release for Bid	JUL/MLS	CHJ	15.12.23

Issued	By	Appd.	YY.MM.DD
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File Name:	Dwn.	Chkd.	Dgn.	YY.MM.DD
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Permit-Seal

Client/Project  
Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

Title

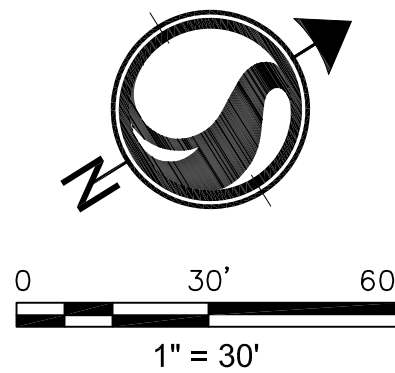
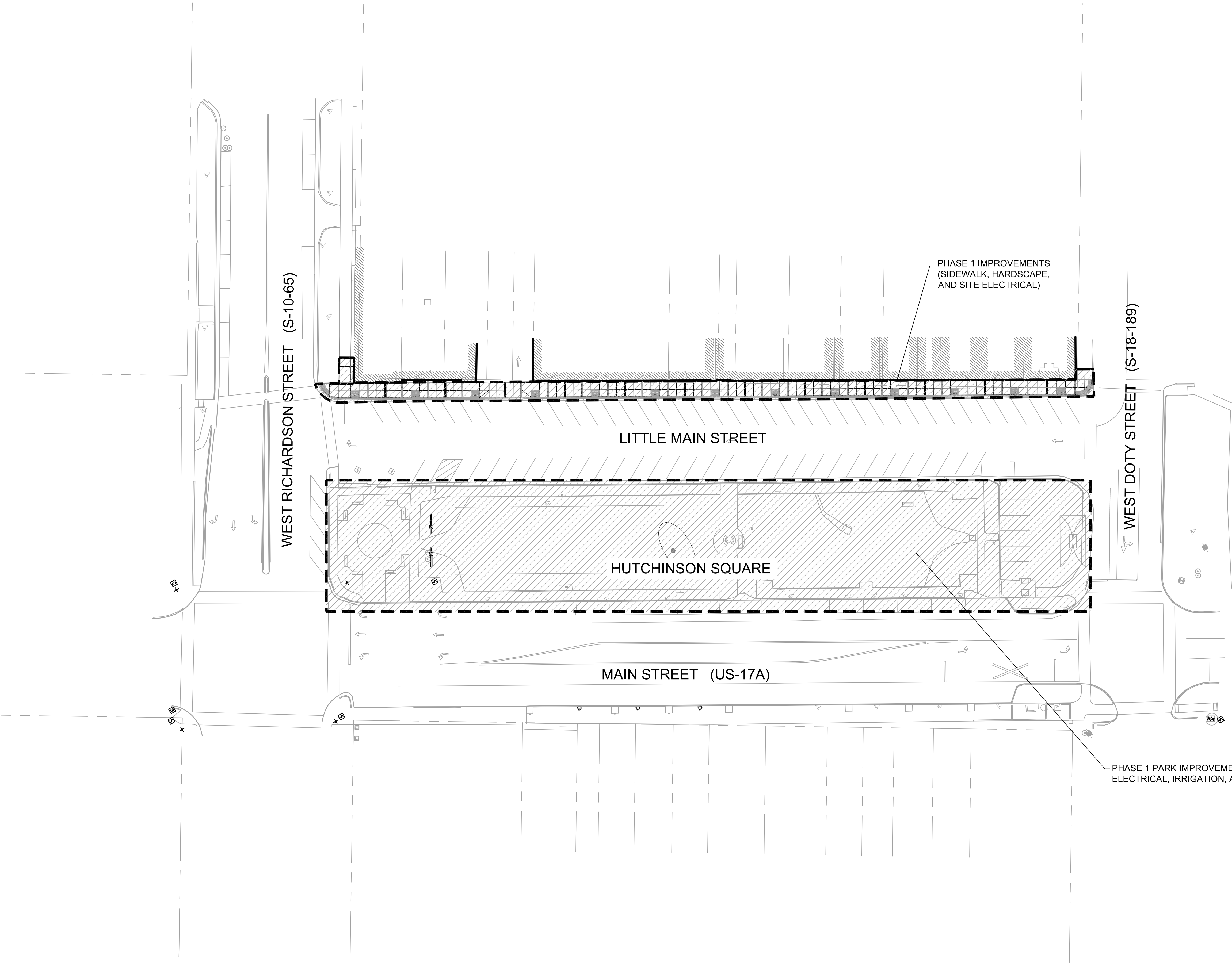
OVERALL SITE PLAN

Project No.	Scale		
178420699			
Drawing No.	Sheet	Revision	

C3

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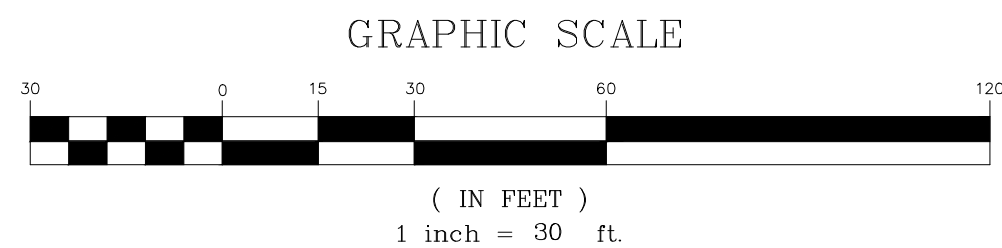




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sq.ft.  
T.M.S.

1997 DEMOL BASE LINE READJUSTMENT SURVEY FOR THE TOWN OF SUMMERVILLE, SC  
NORTH AMERICAN DATUM OF 1983, 2011 SCVS ADJUSTMENT (INTERNATIONAL FOOT)  
NORTH AMERICAN VERTICAL DATUM OF 1929 (U.S. SURVEY FOOT)  
SOUTH CAROLINA STATE PLANE COORDINATE (SYSTEM)  
INTERNATIONAL, OR INTERSECTION  
EDGE OF PAVEMENT  
TYPICAL  
CORNERSTONE SURVEYING & ENGINEERING, INC.  
SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION  
REFERENCE  
OPEN TOP IRON PIPE  
FINCHED TOP IRON PIPE  
IRON REINFORCING BAR (REBAR)  
LINEAR FEET  
POWER POLE  
RAIL ROAD  
ELEVATION  
CONTROL POINT SET  
REINFORCED CONCRETE PIPE  
NOW or FORMERLY  
ACRE(S) (43,560 sq.ft./ACRE)  
SQUARE FEET  
COUNTY TAX MAP PARCEL IDENTIFIER

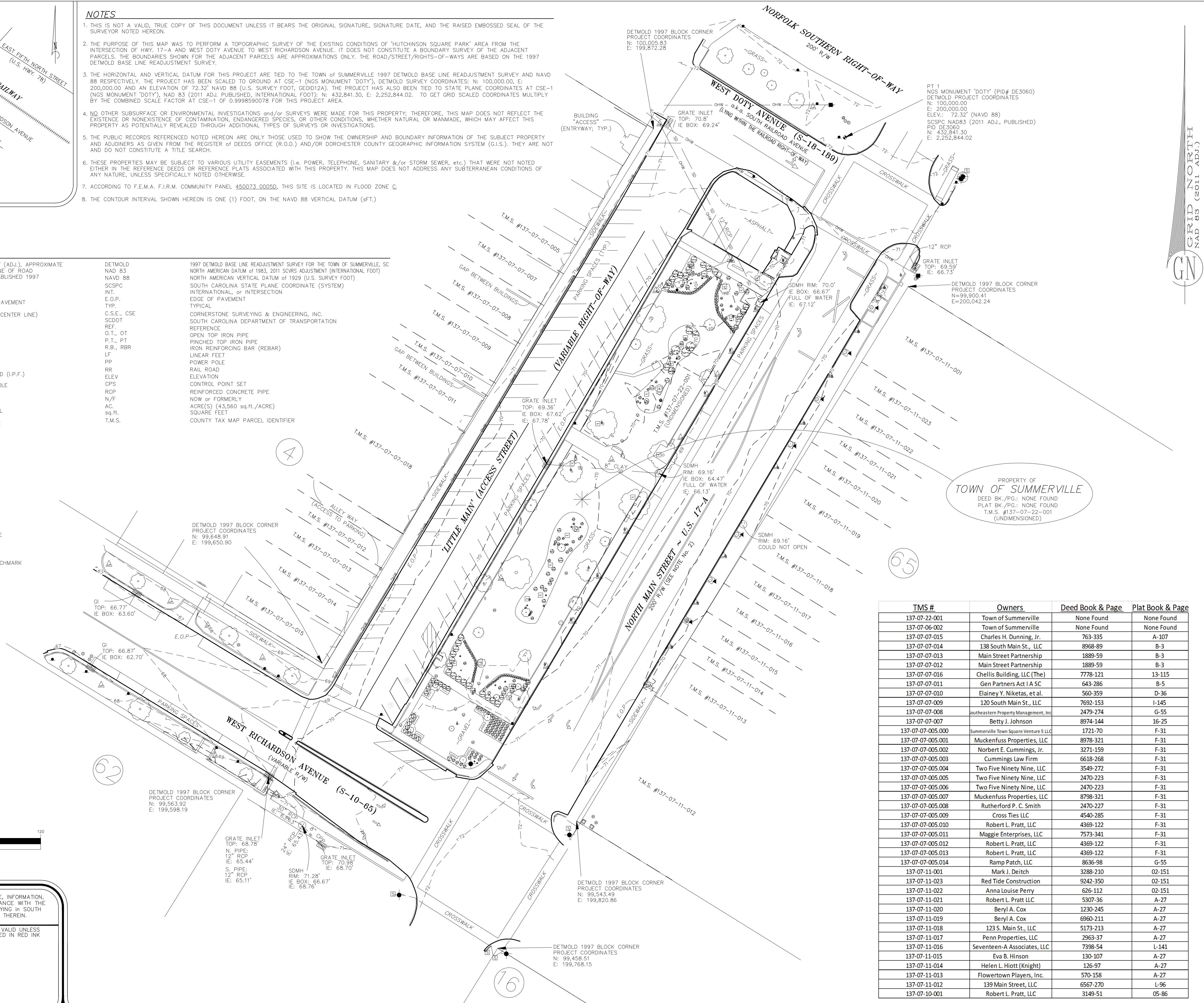


The image shows two circular professional stamps side-by-side. The left stamp is for 'CORNERSTONE SURVEYING & ENGINEERING, INC.' with license number 'C00032'. The right stamp is for 'AARON W. KNIGHT' with license number 'No. 30771'. Both are for the 'SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR'.

NOT VALID UNLESS  
SIGNED IN RED INK

EMBOSSSED SEAL

1. THIS IS NOT A VALID, TRUE COPY OF HIS DOCUMENT UNLESS IT BEARS THE ORIGINAL SIGNATURE, SIGNATURE DATE, AND THE RAISED EMBOSSED SEAL OF THE SURVEYOR NOTED HEREON.
2. THE PURPOSE OF THIS MAP WAS TO PERFORM A TOPOGRAPHIC SURVEY OF THE EXISTING CONDITIONS OF 'HUTCHINSON SQUARE PARK' AREA FROM THE INTERSECTION OF HWY. 17-A AND WEST DUTY AVENUE TO WEST RICHARDSON AVENUE. IT DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE ADJACENT PARCELS. THE BOUNDARIES SHOWN FOR THE ADJACENT PARCELS ARE APPROXIMATIONS ONLY. THE ROAD/STREET/RIGHTS-OF-WAYS ARE BASED ON THE 1997 DETMOLD BASE LINE READJUSTMENT SURVEY.
3. THE HORIZONTAL AND VERTICAL DATUM FOR THIS PROJECT ARE TIED TO THE TOWN OF SUMMERVILLE 1997 DETMOLD BASE LINE READJUSTMENT SURVEY AND NAVD 88 RESPECTIVELY. THE PROJECT HAS BEEN SCALED TO GROUND AT CSE-1 (NGS MONUMENT 'DTMOL'), DETMOLD SURVEY COORDINATES: N: 100,000.00, E: 200,000.00 AND AN ELEVATION OF 72.32' NAVD 88 (U.S. SURVEY FOOT, GEOID12A). THE PROJECT HAS ALSO BEEN TIED TO STATE PLANE COORDINATES AT CSE-1 (NGS MONUMENT 'DTMOL'), NAD 83 (2011 ADJ. PUBLISHED, INTERNATIONAL FOOT): N: 432,841.30, E: 2,252,844.02. TO GET GRID SCALED COORDINATES MULTIPLY BY THE COMBINED SCALE FACTOR AT CSE-1 OF 0.99989590078 FOR THIS PROJECT AREA.
4. NO OTHER SUBSURFACE OR ENVIRONMENTAL INVESTIGATIONS AND/OR SURVEYS WERE MADE FOR THIS PROPERTY. THEREFORE, THIS MAP DOES NOT REFLECT THE EXISTENCE OR NON-EXISTENCE OF CONTAMINATION, ENDANGERED SPECIES, OR OTHER CONDITIONS, WHETHER NATURAL OR MANMADE, WHICH MAY AFFECT THIS PROPERTY AS POTENTIALLY REVEALED THROUGH ADDITIONAL TYPES OF SURVEYS OR INVESTIGATIONS.
5. THE PUBLIC RECORDS REFERENCED NOTED HEREON ARE ONLY THOSE USED TO SHOW THE OWNERSHIP AND BOUNDARY INFORMATION OF THE SUBJECT PROPERTY AND ADJOINERS AS GIVEN FROM THE REGISTER OF DEEDS OFFICE (R.O.D.) AND/OR DORCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEM (G.I.S.). THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
6. THESE PROPERTIES MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS (i.e. POWER, TELEPHONE, SANITARY &/OR STORM SEWER, etc.) THAT WERE NOT NOTED EITHER IN THE REFERENCE DEEDS OR REFERENCE PLATS ASSOCIATED WITH THIS PROPERTY. THIS MAP DOES NOT ADDRESS ANY SUBTERRANEAN CONDITIONS OF ANY NATURE, UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ACCORDING TO F.E.M.A. F.I.R.M. COMMUNITY PLAN 450073\_00050, THIS SITE IS LOCATED IN FLOOD ZONE G.
8. THE CONTOUR INTERVAL SHOWN HEREON IS ONE (1) FOOT, ON THE NAVD 88 VERTICAL DATUM (sFT.)



TMS #	Owners	Deed Book & Page	Plat Book & Page
137-07-22-001	Town of Summerville	None Found	None Found
137-07-06-002	Town of Summerville	None Found	None Found
137-07-07-015	Charles H. Dunning, Jr.	763-335	A-107
137-07-07-014	138 South Main St., LLC	8968-89	B-3
137-07-07-013	Main Street Partnership	1889-59	B-3
137-07-07-012	Main Street Partnership	1889-59	B-3
137-07-07-016	Chellis Building, LLC (The)	7778-121	13-115
137-07-07-011	Gen Partners Act I A SC	643-286	B-5
137-07-07-010	Elainey Y. Niketas, et al.	560-359	D-36
137-07-07-009	120 South Main St., LLC	7692-153	I-145
137-07-07-008	southeastern Property Management, Inc	2479-274	G-55
137-07-07-007	Betty J. Johnson	8974-144	16-25
137-07-07-005.000	Summerville Town Square Venture S LLC	1721-70	F-31
137-07-07-005.001	Muckenfuss Properties, LLC	8978-321	F-31
137-07-07-005.002	Norbert E. Cummings, Jr.	3271-159	F-31
137-07-07-005.003	Cummings Law Firm	6618-268	F-31
137-07-07-005.004	Two Five Ninety Nine, LLC	3549-272	F-31
137-07-07-005.005	Two Five Ninety Nine, LLC	2470-223	F-31
137-07-07-005.006	Two Five Ninety Nine, LLC	2470-223	F-31
137-07-07-005.007	Muckenfuss Properties, LLC	8798-321	F-31
137-07-07-005.008	Rutherford P. C. Smith	2470-227	F-31
137-07-07-005.009	Cross Ties LLC	4540-285	F-31
137-07-07-005.010	Robert L. Pratt, LLC	4369-122	F-31
137-07-07-005.011	Maggie Enterprises, LLC	7573-341	F-31
137-07-07-005.012	Robert L. Pratt, LLC	4369-122	F-31
137-07-07-005.013	Robert L. Pratt, LLC	4369-122	F-31
137-07-07-005.014	Ramp Patch, LLC	8636-98	G-55
137-07-11-001	Mark J. Deitch	3288-210	02-151
137-07-11-023	Red Tide Construction	9242-350	02-151
137-07-11-022	Anna Louise Perry	626-112	02-151
137-07-11-021	Robert L. Pratt LLC	5307-36	A-27
137-07-11-020	Beryl A. Cox	1230-245	A-27
137-07-11-019	Beryl A. Cox	6960-211	A-27
137-07-11-018	123 S. Main St., LLC	5173-213	A-27
137-07-11-017	Penn Properties, LLC	2963-37	A-27
137-07-11-016	Seventeen-A Associates, LLC	7398-54	I-141
137-07-11-015	Eva B. Hinson	130-107	A-27
137-07-11-014	Helen L. Hiott (Knight)	126-97	A-27
137-07-11-013	Flowertown Players, Inc.	570-158	A-27
137-07-11-012	139 Main Street, LLC	6567-270	L-96
137-07-10-001	Robert L. Pratt, LLC	3149-51	05-86

THE 'HUTCHINSON SQUARE PARK' AREA  
(T.M.S. #137-07-22-001) AND PORTIONS OF THE  
ADJOINING PUBLIC STREETS AND BUILDING FACES

Date of Survey:  
11/5/2015  
☐ Drawn: AWK  
☐ Design: AWK  
☐ Checked: AWK  
☐ Approved: AWK  
CAD File: Detmold-Plat\_Fina  
F.B. & Pg. N/A  
P.B. & Pg. N/A  
Pl.Board Appl.# N/A

[illegible]

Proj. No.: 15003-001  
Sheet 1 Of 1

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Consultants

Legend

Notes

- ACCESS TO ALL SHOPS AND ENTRANCES TO THE EXISTING BUILDINGS ARE TO REMAIN THROUGH OUT CONSTRUCTION.
- CONTRACTOR TO INSTALL SIDEWALK CLOSED AND SIDEWALK DETOUR SIGNS TO DIRECT PEDESTRIANS AROUND THE CONSTRUCTION ZONE. SEE PHASING NOTES ON SHEET C2.

Revision	By	Appd.	YY.MM.DD
1. For Review	JJL/MLS	CJH	15.12.11
2. Release for Bld	JJL/MLS	CHJ	15.12.23

Issued	By	Appd.	YY.MM.DD
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File Name:	Dwn.	Chkd.	Dsgn.	YY.MM.DD
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Client/Project  
Town of Summerville

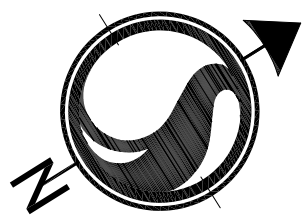
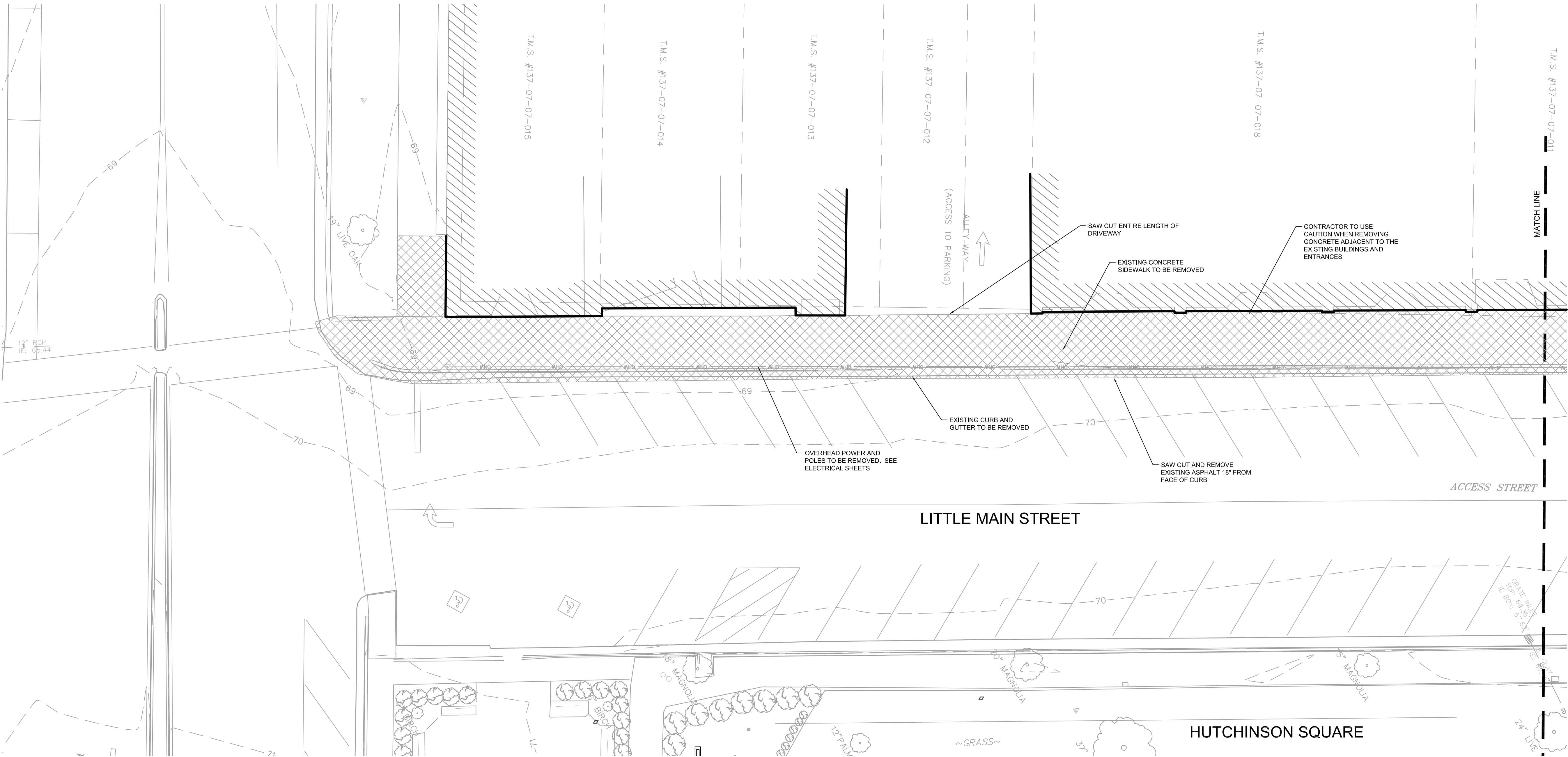
HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

Title

DEMOLITION PLAN

Project No. 178420699	Scale
Drawing No.	Sheet Revision

C5



0 10' 20'  
1" = 10'

- ACCESS TO ALL SHOPS AND ENTRANCES TO THE EXISTING BUILDINGS ARE TO REMAIN THROUGH OUT CONSTRUCTION.
- CONTRACTOR TO INSTALL SIDEWALK CLOSED AND SIDEWALK DETOUR SIGNS TO DIRECT PEDESTRIANS AROUND THE CONSTRUCTION ZONE. SEE PHASING NOTES ON SHEET C2.

Revision	By	Appd.	YY.MM.DD
1. For Review	JJL/MLS	CJH	15.12.11
2. Release for Bld	JJL/MLS	CHU	15.12.23

Issued	By	Appd.	YY.MM.DD
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File Name:	Dwnl.	Chkd.	Dsgn.	YY.MM.DD
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Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

Title

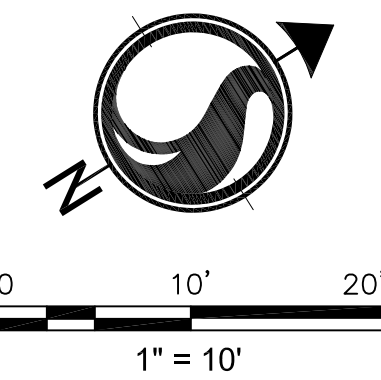
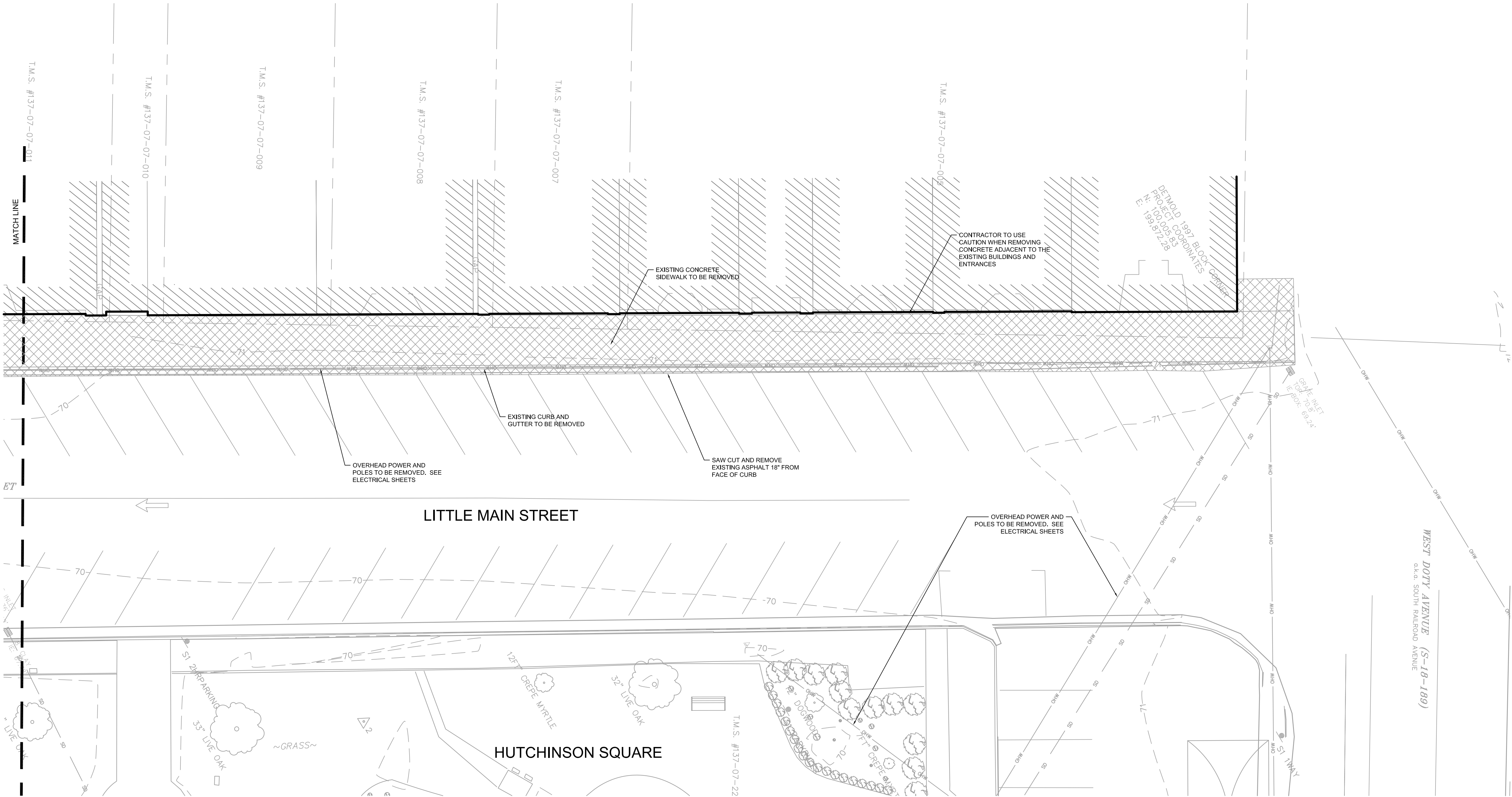
DEMOLITION PLAN

Project No. 178420699	Scale
Drawing No.	Sheet Revision

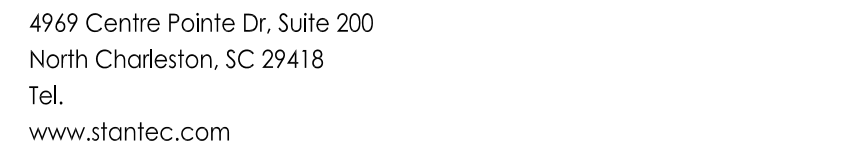
C6

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Legend

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Notes

1. ALL ANGLES ARE 90° DEGREES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL REVIEW THE EXISTING SITE CONDITIONS PRIOR TO BIDDING AND IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT.
4. THE LIMIT OF WORK IS CONFINED TO AREAS WITHIN THE CLEARING LIMITS UNLESS OTHERWISE INDICATED.
5. THE CONTRACTOR SHALL USE THIS DRAWING FOR STAKE OUT OF ALL SITE ELEMENTS IN THE FIELD AND SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PROVIDING A SMOOTH TRANSITION INTO EXISTING GRADES. GRADE TO PREVENT PONDING AND TO PROVIDE POSITIVE DRAINAGE FROM STRUCTURES.


Revision	By	Appd.	YY.MM.DD
1. For Review	JJL/MLS	CJH	15.12.11
2. Release for Bid	JJL/MLS	CHJ	15.12.23

Issued	By	Appd.	YY.MM.DD
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File Name:				
	Dwn.	Chkd.	Dsgn.	YY.MM.DD

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Client/Project  
Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

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Title

## SITE LAYOUT & KEY PLAN

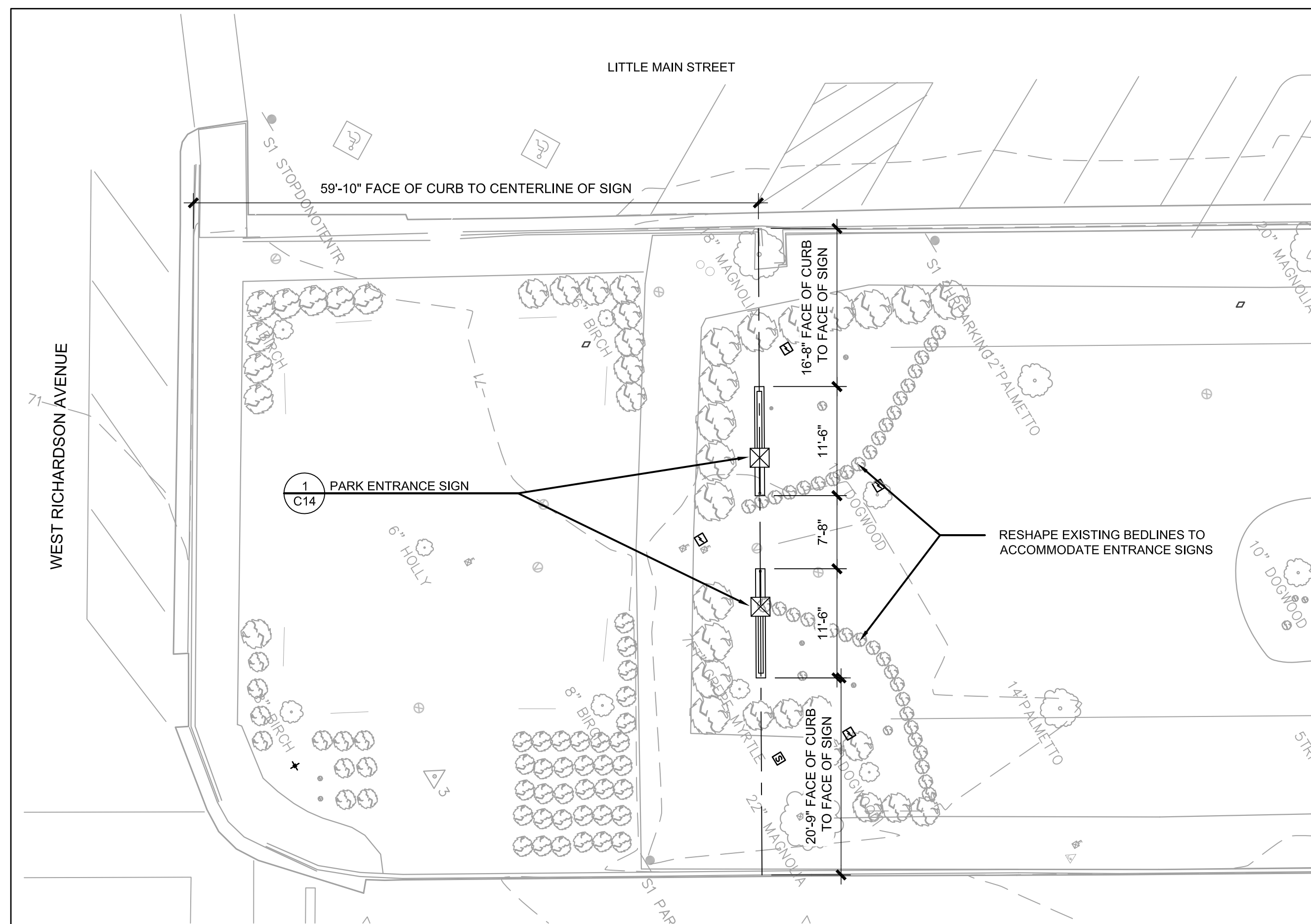
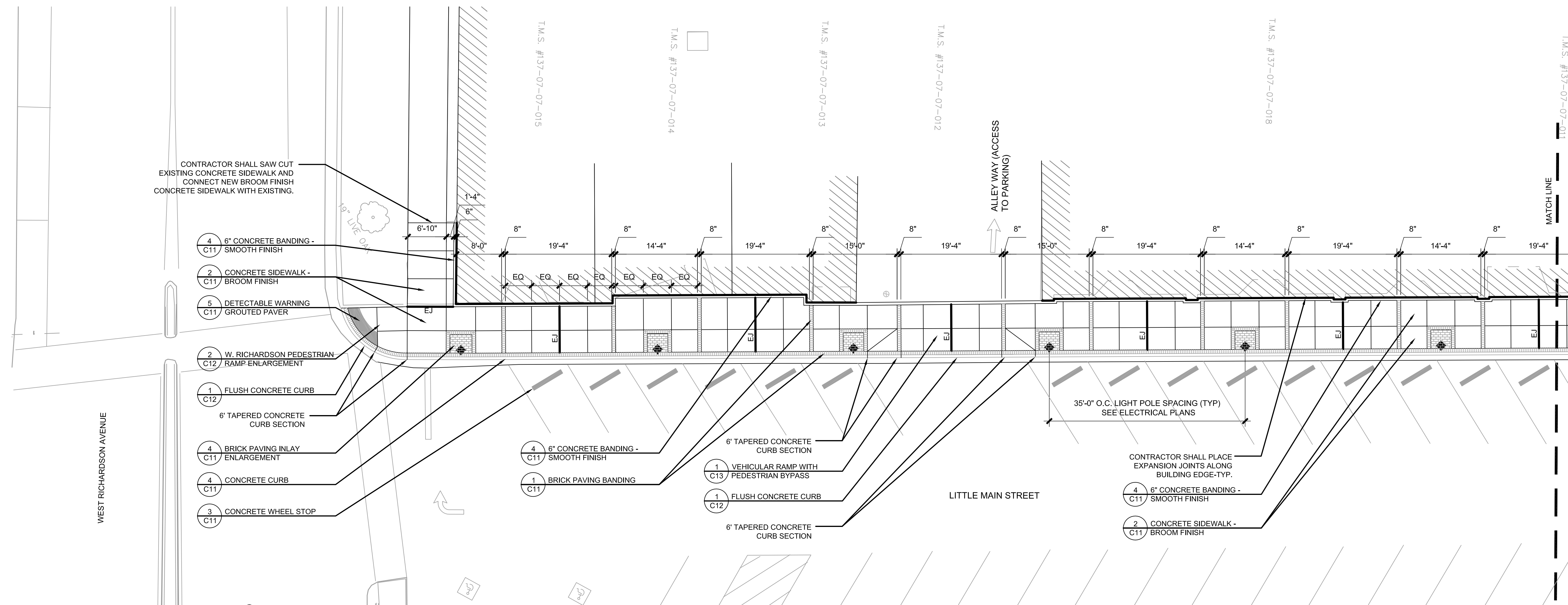
Project No.	Scale
178420699	

Drawing No.	Sheet	Revision
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C7

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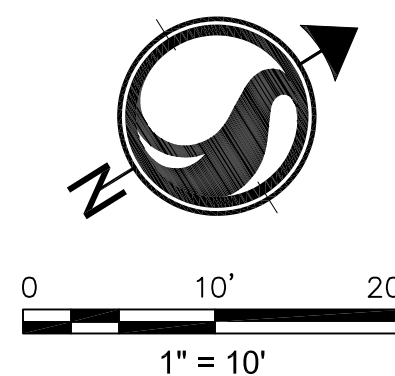
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1

## PARK ENTRANCE SIGN ENLARGEMENT

SCALE: 1"=10'-0"



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ORIGINAL SHEET - ARCH





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Legend

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Notes

1. ALL ANGLES ARE 90° DEGREES UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR
3. THE CONTRACTOR SHALL REVIEW THE EXISTING SITE CONDITIONS PRIOR TO BIDDING AND IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT.
4. THE LIMIT OF WORK IS CONFINED TO AREAS WITHIN THE CLEARING LIMITS UNLESS OTHERWISE INDICATED.
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6. THE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PROVIDING A SMOOTH TRANSITION TO EXISTING GRACES, GRADE TO PREVENT POUNDING AND TO PROVIDE POSITIVE DRAINAGE FROM STRUCTURES.


Revision	By	Appd.	YY.MM
1. For Review	JUL/MLS	CJH	15.12
2. Release for Bid	JUL/MLS	CHJ	15.12

Issued	By	Appd.	YY.MM
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File Name:				
	Dwn.	Chkd.	Dsgn.	YY.MM

Permit-Seal

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Client/Project

Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I

Summerville, SC

Title

## SITE LAYOUT & KEY PLAN

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Project No.

Scale

Drawing No.

Sheet

Drawing No.

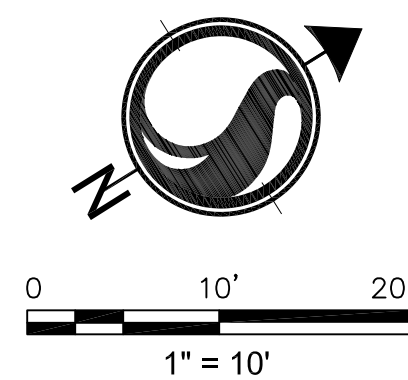
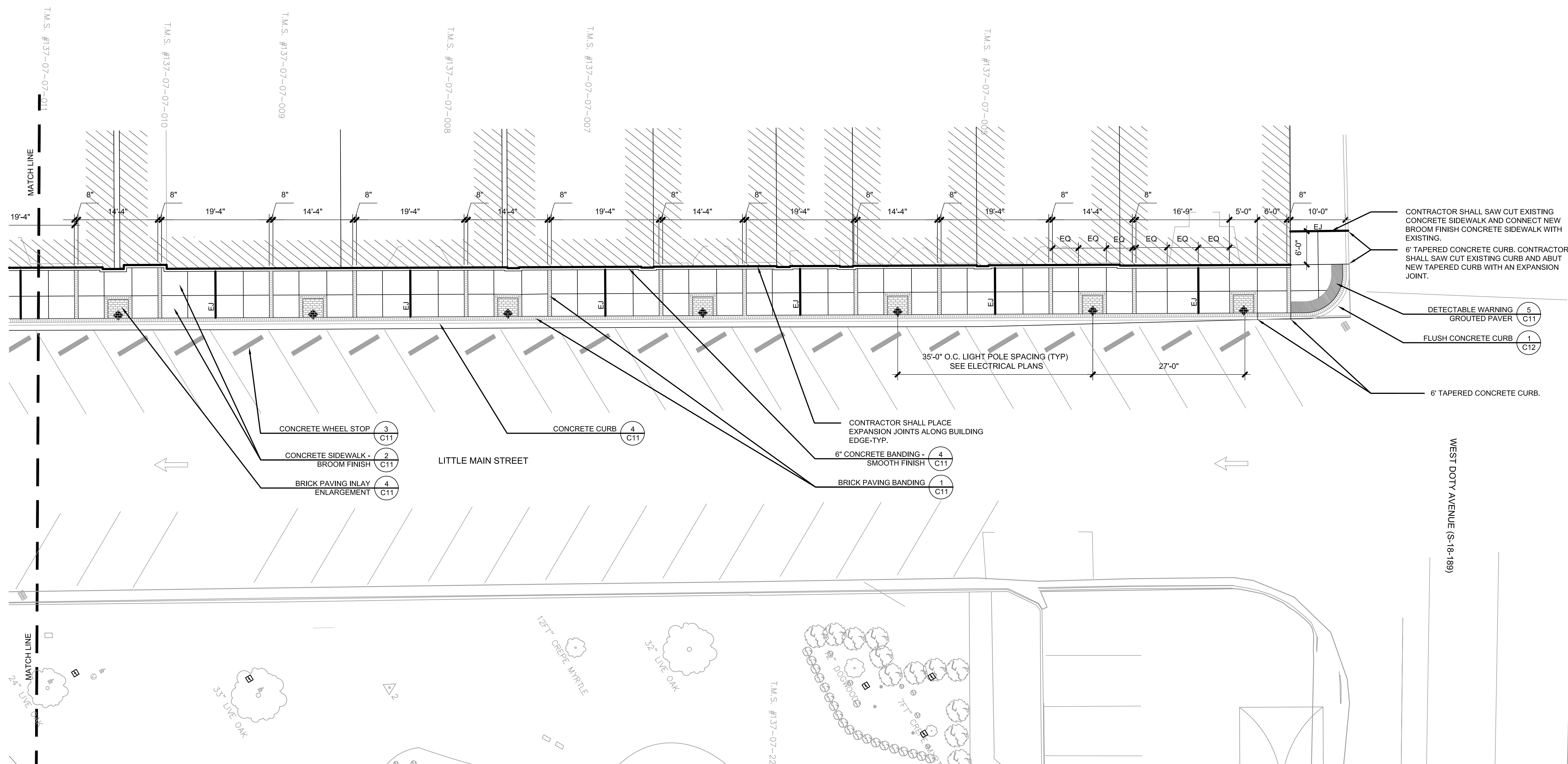
Sheet

Revision

C8

8 of 14

C



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2001/5/12/91 9:58 AM by: Veldnoble, Kevin

ORIGINAL SHEET - ARCH D

1. NEW SIDEWALK IS TO COMPLY WITH THE MOST RECENT VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN. THE CROSS SLOPE OF THE SIDE WALK SHALL NOT EXCEED 1:40 (2%) FROM THE EXISTING BUILDING TO THE TOP OF CURB ELEVATION. THE HORIZONTAL SLOPE SHALL NOT EXCEED 1:20 (5%).
2. WHERE THE SIDEWALK IS CONSTRUCTED UP TO AND AGAINST THE EXISTING ENTRY WAYS OF THE EXISTING BUILDINGS, THE MAXIMUM STEP, OR CHANGE IN ELEVATION SHALL NOT EXCEED  $\frac{1}{4}$ ".

Revision	By	Appd.	YY.MM.DD
1. For Review	JUL/MLS	C.H.	15.12.11
2. Release for Bid	JUL/MLS	CHU	15.12.23

By	Appd.	YY.MM.DD

File Name:	Dwn.	Chkd.	Dgn.	YY.MM.DD

Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I

Summerville, SC

GRADING AND DRAINAGE PLAN

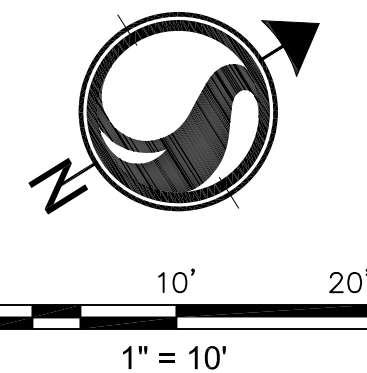
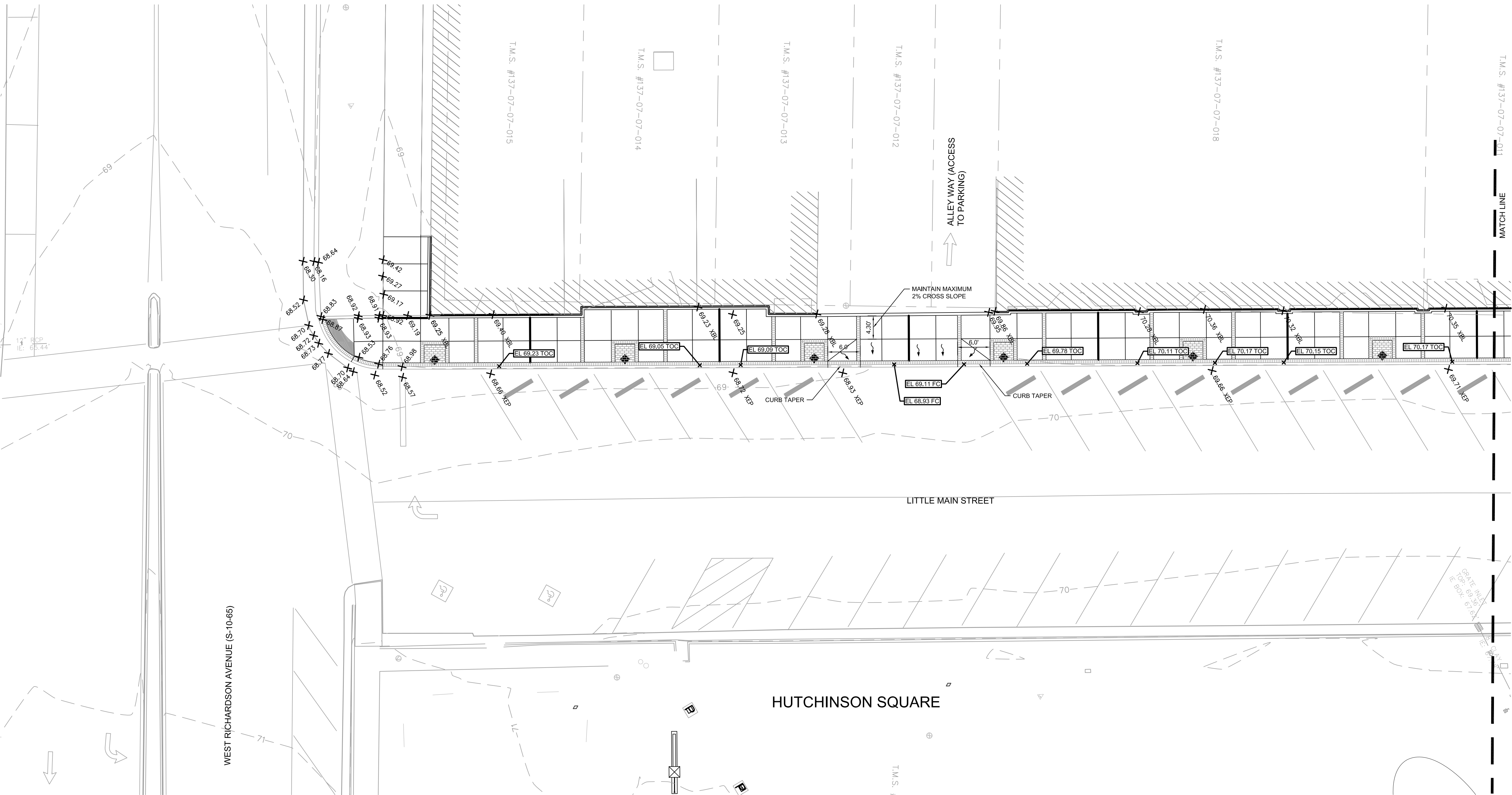
Project No. 178420699 Scale

Drawing No. Sheet Revision

C9

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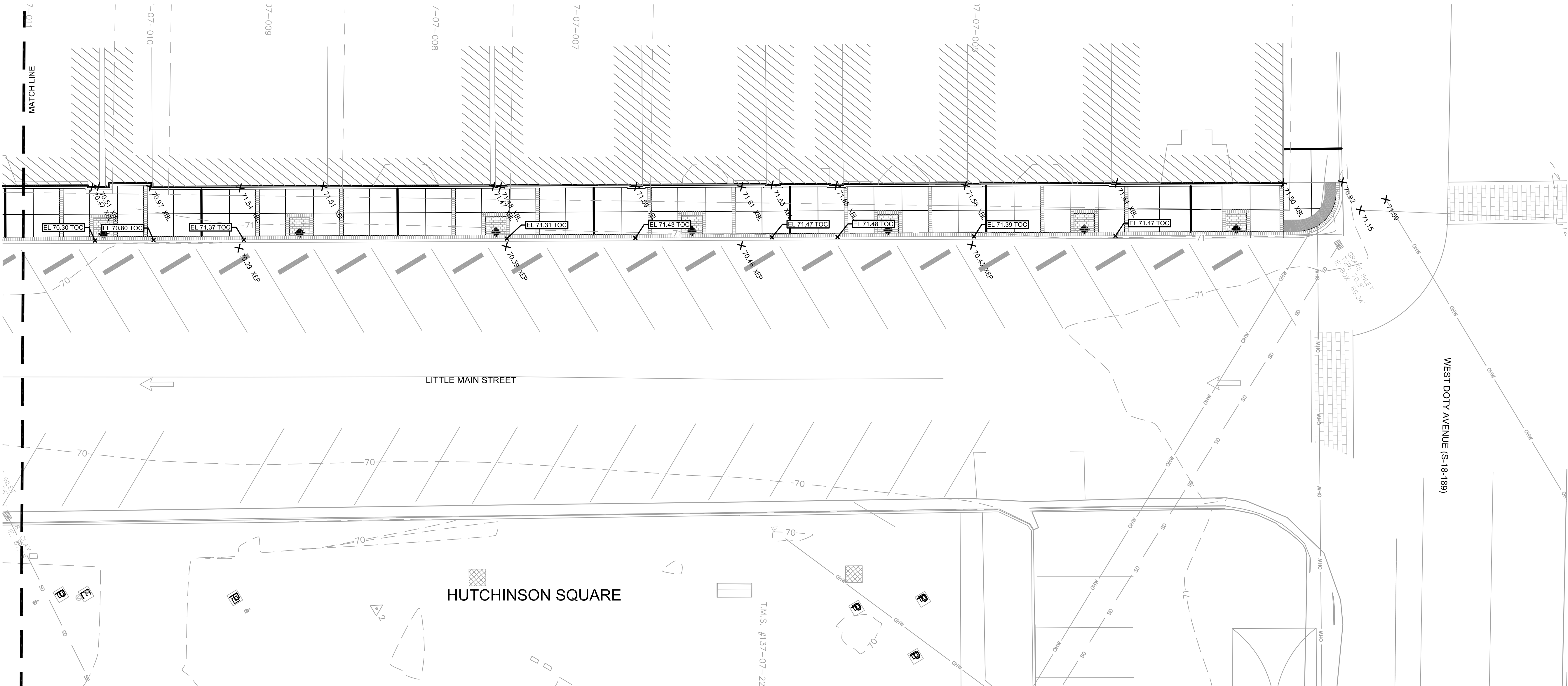
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2. WHERE THE SIDEWALK IS CONSTRUCTED UP TO AND AGAINST THE EXISTING ENTRY WAYS OF THE EXISTING BUILDINGS, THE MAXIMUM STEP, OR CHANGE IN ELEVATION SHALL NOT EXCEED  $\frac{1}{4}$ ".

1. For Review	JUL/MLS	CJH	15.12.11
2. Release for Bid	JUL/MLS	CHJ	15.12.23

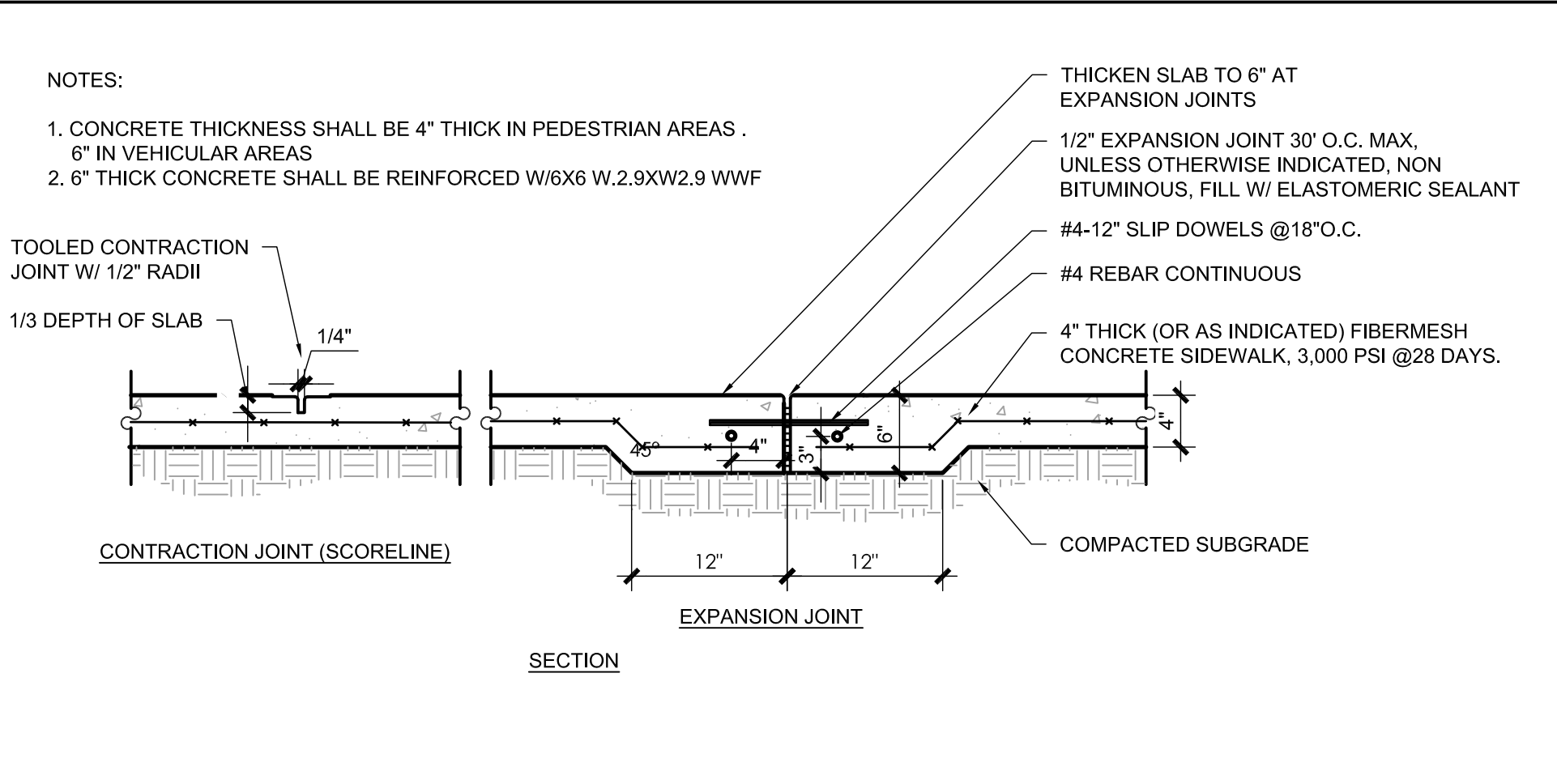
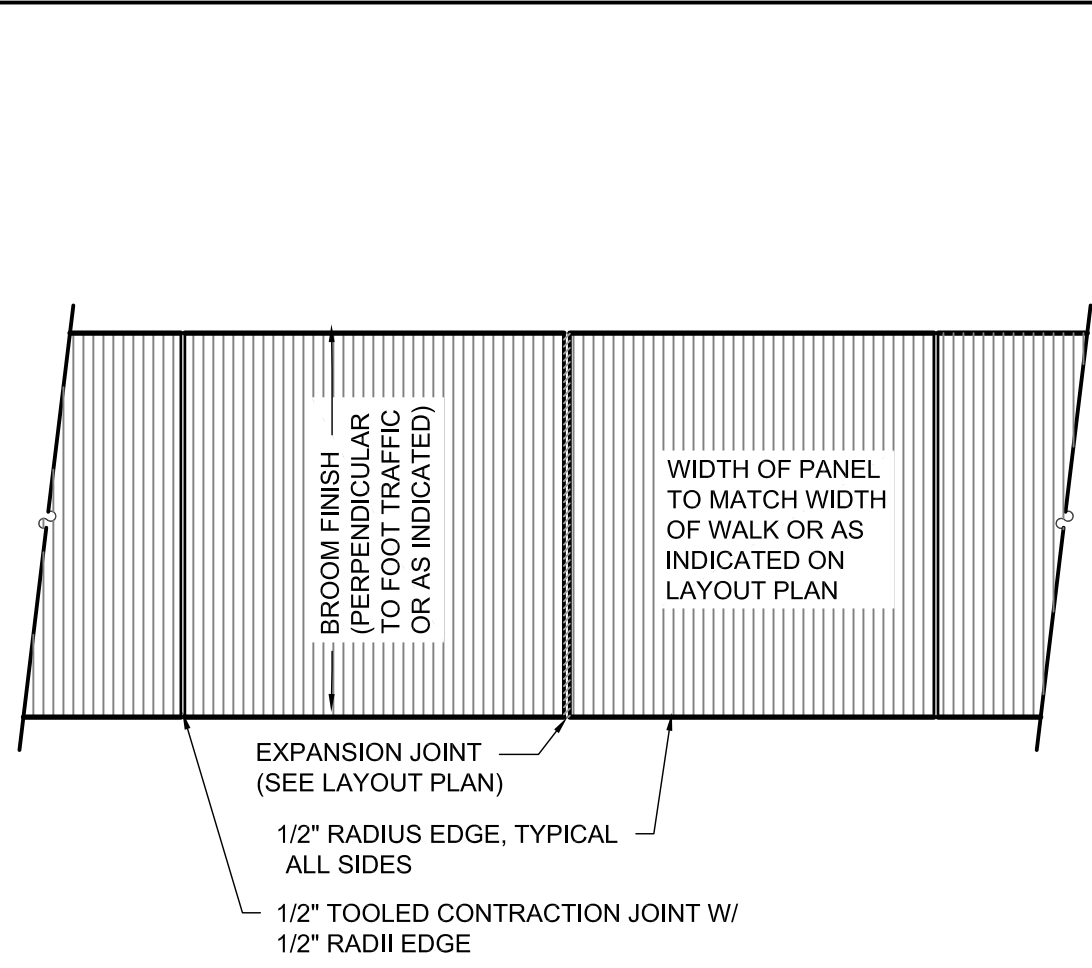
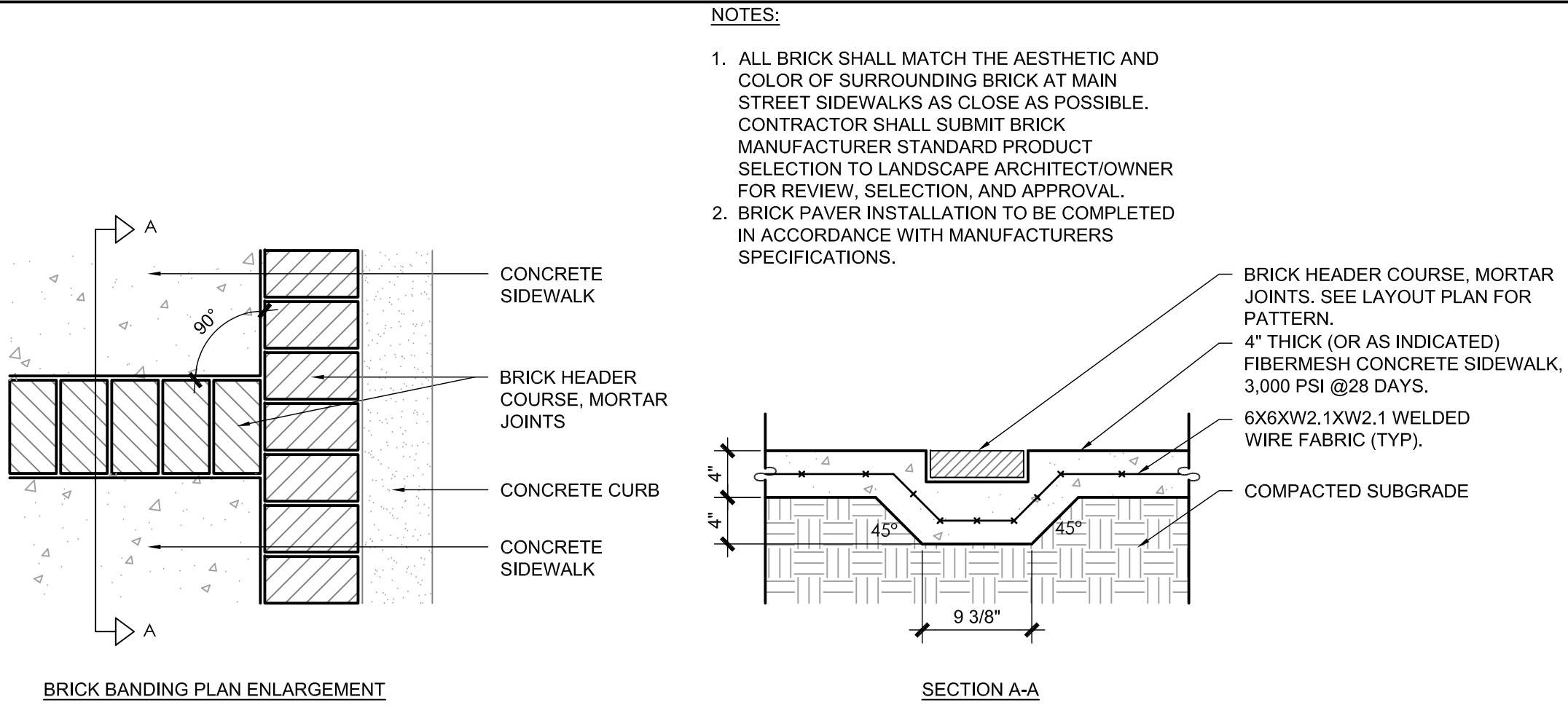
File Name:	Dwn.	Chkd.	Dsgn.	YY.MM.DD
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Project No.	Scale
178420699	

Drawing No.	Sheet	Revision
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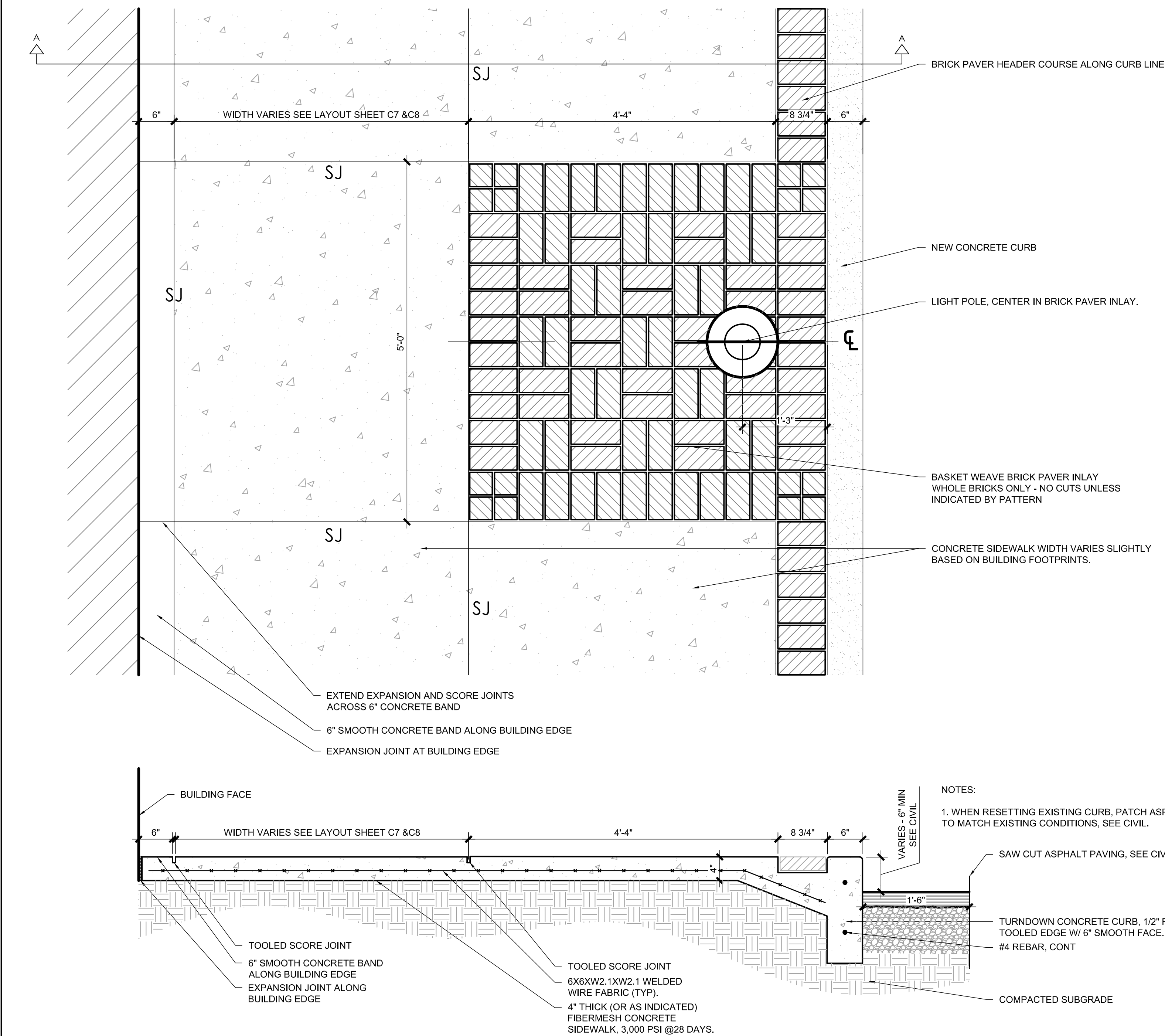




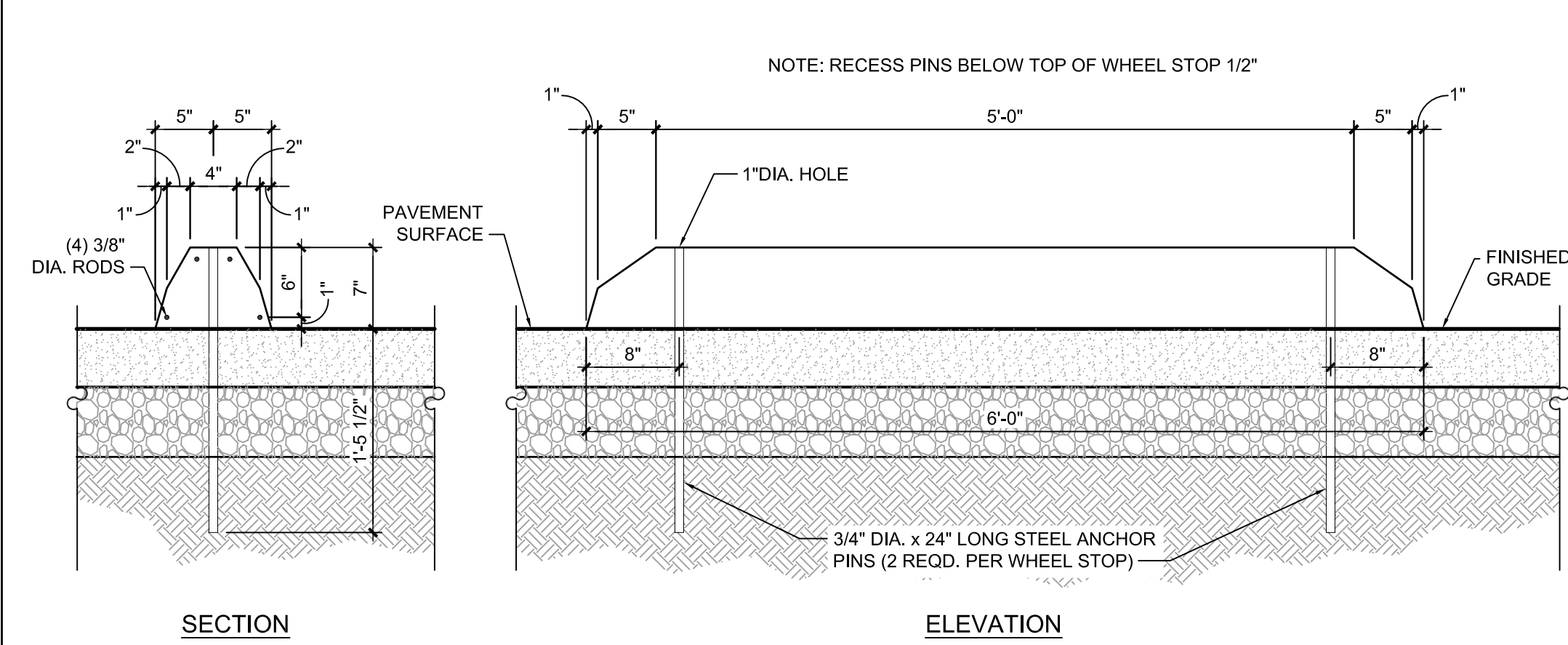


1	BRICK PAVING BANDING
SCALE: 1"=1'-0"	C7 & C8

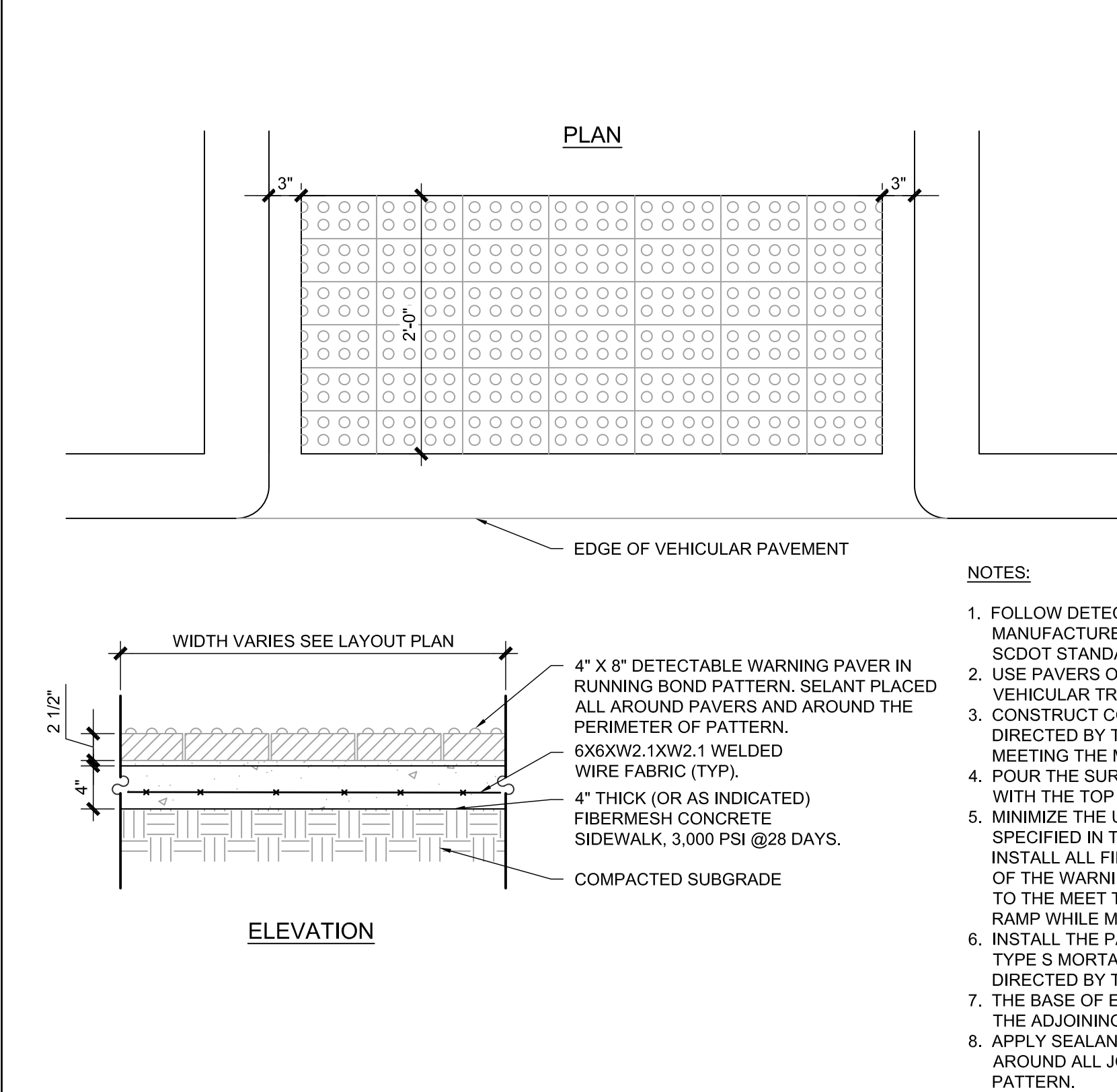
2	CONCRETE SIDEWALK - BROOM FINISH
SCALE: 1"=1'-0"	C7 & C8



4	CONCRETE CURB & BRICK PAVING INLAY ENLARGEMENT
SCALE: 1"=1'-0"	C7 & C8



3	CONCRETE WHEEL STOP
SCALE: 1"=1'-0"	C7 & C8



5	DETECTABLE WARNING GROUTED PAVER
SCALE: 1"=1'-0"	C7 & C8

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Revision	By	Appd.	YY.MM.DD
1. For Review	JJL/MLS	CJH	15.12.11
2. Release for Bid	JJL/MLS	CHJ	15.12.23
Issued	By	Appd.	YY.MM.DD
File Name:	Dwn.	Chkd.	Dsgn.
Permit-Seal			YY.MM.DD

Client/Project	Town of Summerville
HUTCHINSON SQUARE IMPROVEMENTS PHASE I	
Summerville, SC	
Title	SITE DETAILS

Project No.	Scale	
178420699		
Drawing No.	Sheet	Revision
C11	11 of 14	0





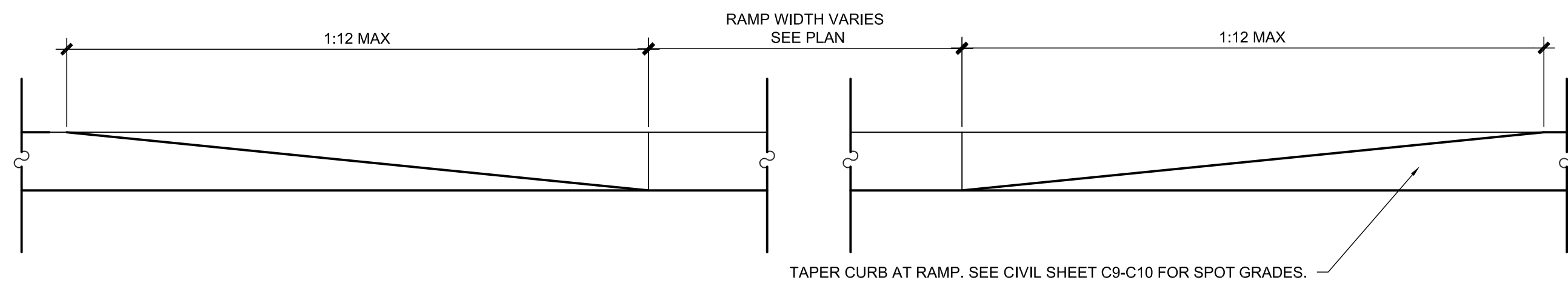
## Consultants

Legend

## Notes

Client/Project		
Town of Summerville		
HUTCHINSON SQUARE IMPROVEMENTS PHASE I		
Summerville, SC		
Title		
SITE DETAILS		
Project No.	Scale	
178420699		
Drawing No.	Sheet	Revision

C12 12 of 14 0



Technical drawing illustrating a building corner detail, showing the intersection of a sidewalk, curb, and building edge. The drawing includes dimensions, material callouts, and joint locations.

**Dimensions:**

- 11'-2" (Overall width of the sidewalk area)
- 7'-0" (Width of the sidewalk section)
- 1'-0" (Width of the sidewalk section)
- 6" (Width of the sidewalk section)
- 6'-0" (Width of the concrete curb transition)
- 8'-3" (Width of the sidewalk section)
- 4'-4" (Width of the sidewalk section)

**Callouts and Materials:**

- TRANSITION CONCRETE CURB OR RAMP PARTITION (AS NEEDED)
- EXISTING CURB
- FLUSH CONCRETE CURB. TIE INTO EXISTING CONCRETE CURB.
- DETECTABLE WARNING GROUTED PAVERS
- BRICK HEADER COURSE
- NEW CONCRETE CURB
- 6" SMOOTH CONCRETE BAND
- ALIGN JOINT WITH BRICK PAVING INLAY
- SJ - SCORE JOINT
- EJ - EXPANSION JOINT
- BUILDING EDGE

**Joint Locations:**

- SJ (Score Joint) at the intersection of the sidewalk and the building edge.
- EJ (Expansion Joint) at the intersection of the sidewalk and the building edge.

2	W. RICHARDSON PEDESTRIAN RAMP ENLARGEMENT
SCALE: 3/4"=1'-0"	C7

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2015/12/21 12:45 PM By: Volnogle, Kevin

Revision	By	Appd.	YY.MM.DD
1. For Review	JUL/MLS	CJH	15.12.11
2. Release for Bid	JUL/MLS	CHJ	15.12.23

Issued	By	Appd.	YY.MM.DD
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Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

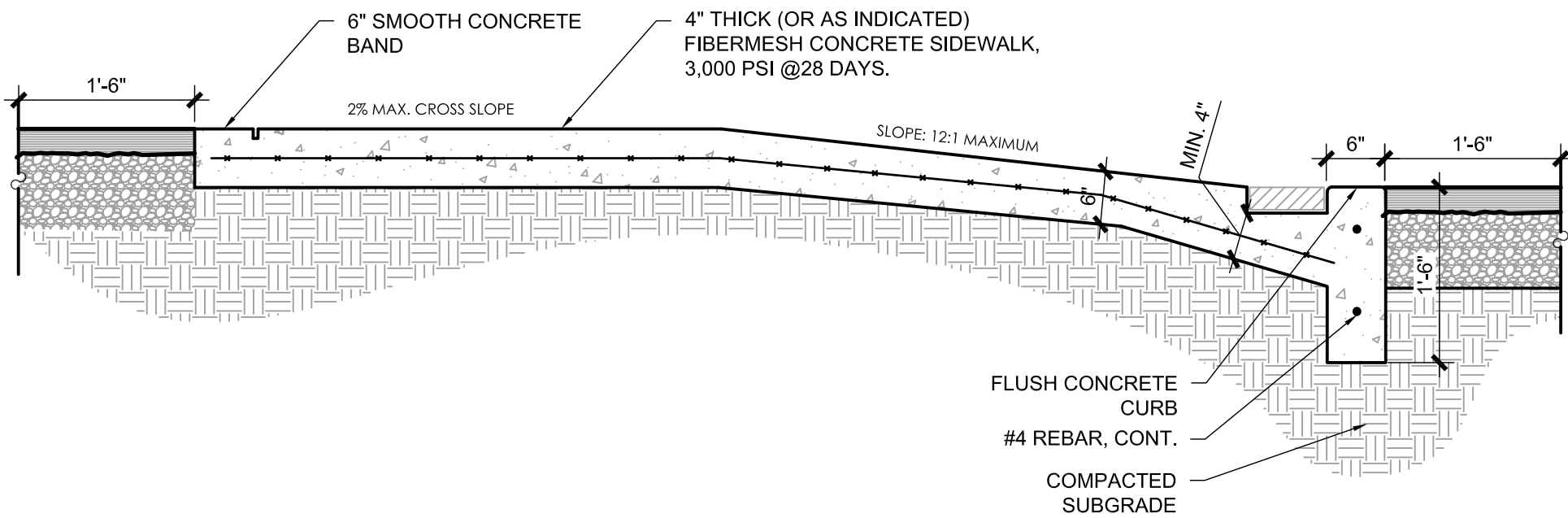
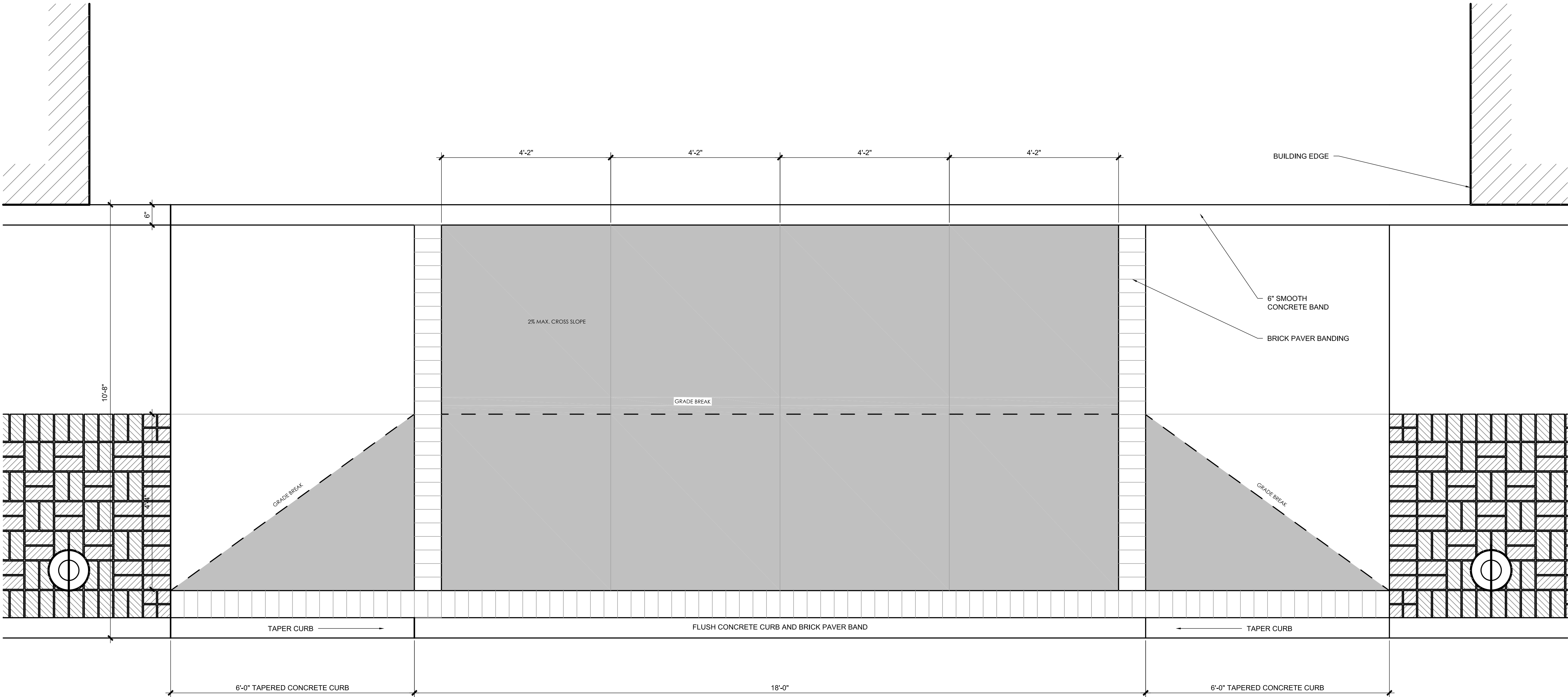
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SITE DETAILS

Project No.	Scale
178420699	

Drawing No.	Sheet	Revision
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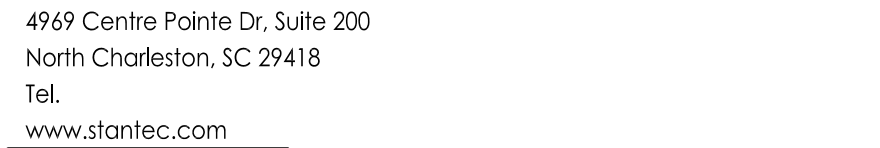
**C13** 13 of 14 0



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20/10/2021 12:48 PM By: Valpoghe, Kevin

1	VEHICULAR RAMP WITH PEDESTRIAN BYPASS
SCALE: 3/4"=1'-0"	C7





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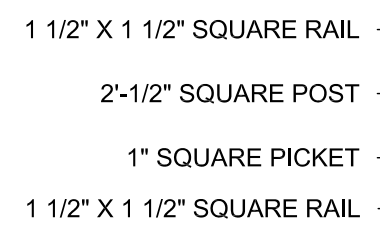
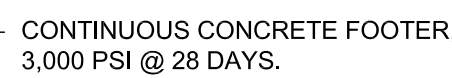
HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

Title

## SITE DETAILS

Project No. 178420699	Scale	
Drawing No.	Sheet	Revision

C14 14 of 14 0



- GENERAL NOTES:

1. BRICK SHALL BE OLD CAROLINA, 75% SAVANNAH GREY & 25% GEORGETOWN RED COLOR WITH BEIGE MORTAR.
2. IF CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE STEWART THAT MIGHT NEGATIVELY IMPACT THE QUALITY OF THE SIGNAGE, THE CONTRACTOR MUST NOTIFY LANDSCAPE ARCHITECT/OWNER.
3. CONTRACTOR ASSUMES ALL LIABILITY FOR DAMAGE TO SITE FURNISHINGS DURING CONSTRUCTION AND INSTALLATION.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WALL CONSTRUCTION WITH THE SIGN MANUFACTURER.
5. CONTRACTOR SHALL STAKE OUT LOCATION OF SIGN AND LANDSCAPE ARCHITECT SHALL APPROVE LOCATION PRIOR TO CONSTRUCTION.
6. ALL SIGN MATERIALS TO BE APPROVED PRIOR TO MANUFACTURING OF SIGN.
7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND COLOR SAMPLES OF BRICK, MORTAR, STUCCO AND SIGN MATERIALS FOR FINAL APPROVAL FROM LANDSCAPE ARCHITECT AND OWNER.
8. SIGN AND FOUNDATION ARE DESIGNED TO 2012 INTERNATIONAL BUILDING CODE AND D2 EARTHQUAKE & WIND ZONE SPECIFICATIONS
9. ALL METAL TO BE DEGRADED, PHOSPHATIZED WITH RUST RETARDANT UNDERCOAT AND POWDERCOATED BLACK.
10. THE CONTRACTOR SHALL CLEAN THE JOB SITE OF EXCESS MATERIALS, WITH FOOTING EXCAVATIONS SCATTERED UNIFORMLY.
11. DO NOT OVERTIGHTEN BOLTS IN THE BASE CONNECTION.
12. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL OF FINAL LAYOUT, DESIGN, COLOR SELECTION, ETC. PRIOR TO INSTALLATION.





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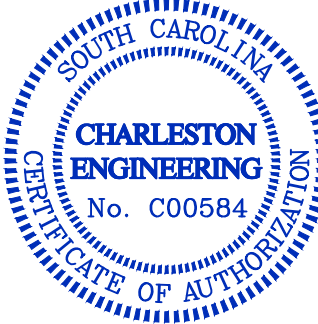
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Notes

**This drawing is not to be used for construction purposes unless signed and sealed by the Engineer of Record and stamped "Approved For Construction." Use of this drawing for quantity take-offs and pricing is preliminary until all applicable permits have been obtained.**

Revision	By	Appd.	YY.MM.DD
Issued	By	Appd.	YY.MM.DD

Phase 1	Holsberg	Deden	Deden	12.10.15
	Dwn.	Chkd.	Dgn.	YY.MM.DD



Client/Project

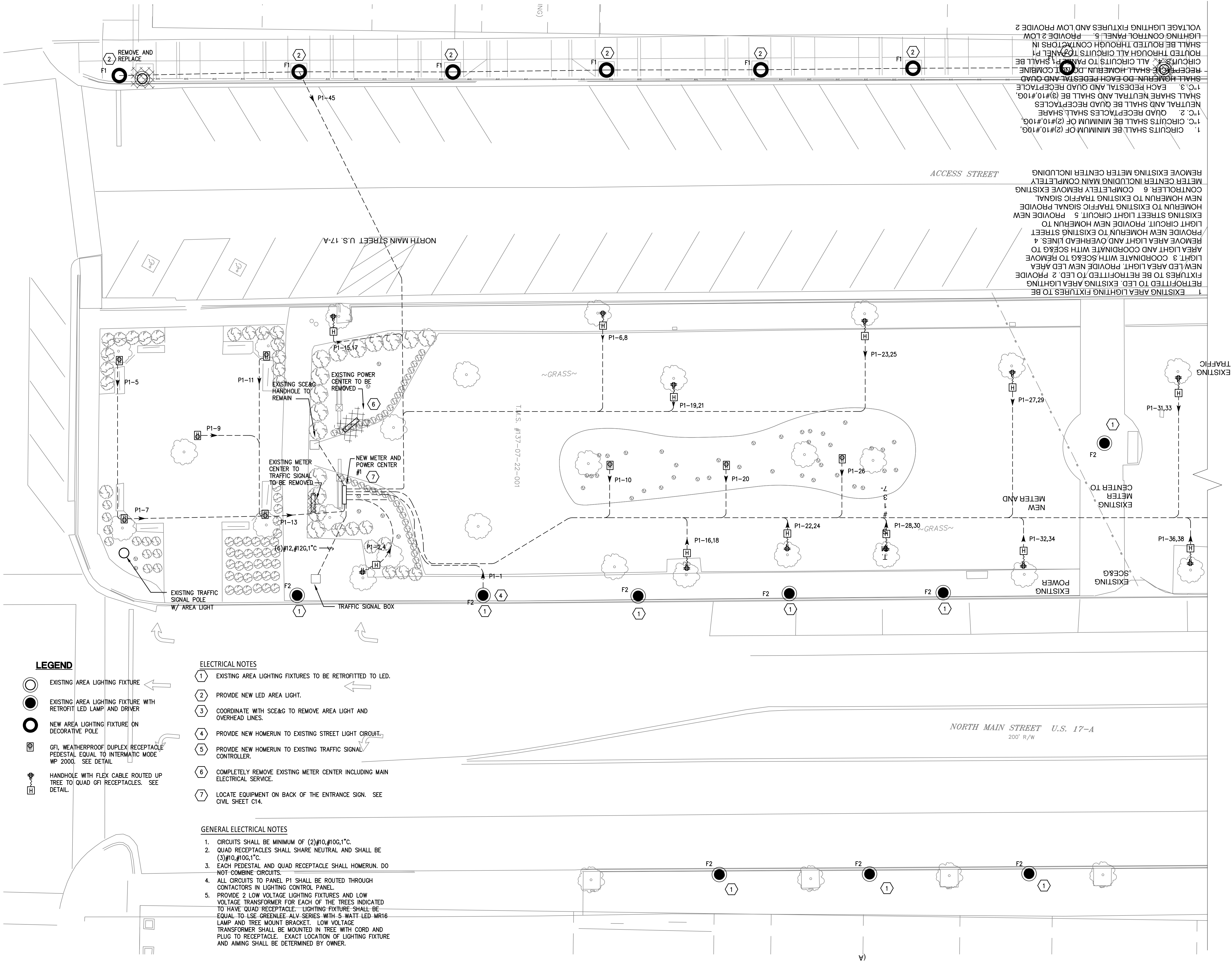
Title

## ELECTRICAL SITE PLAN - A

Project No.	Scale
1520	1"=10'-0"
Drawing No.	Sheet
	Revision

E1.1

1 of -



### LEGEND

- EXISTING AREA LIGHTING FIXTURE
- EXISTING AREA LIGHTING FIXTURE WITH RETROFIT LED LAMP AND DRIVER
- NEW AREA LIGHTING FIXTURE ON DECORATIVE POLE
- GFI, WEATHERPROOF DUPLEX RECEPTACLE PEDESTAL EQUAL TO INTERMATIC MODE WP 2000. SEE DETAIL
- HANDHOLE WITH FLEX CABLE ROUTED UP TREE TO QUAD GFI RECEPTACLES. SEE DETAIL

### ELECTRICAL NOTES

- EXISTING AREA LIGHTING FIXTURES TO BE RETROFITTED TO LED.
- PROVIDE NEW LED AREA LIGHT.
- COORDINATE WITH SCE&G TO REMOVE AREA LIGHT AND OVERHEAD LINES.
- PROVIDE NEW HOMERUN TO EXISTING STREET LIGHT CIRCUIT.
- PROVIDE NEW HOMERUN TO EXISTING TRAFFIC SIGNAL CONTROLLER.
- COMPLETELY REMOVE EXISTING METER CENTER INCLUDING MAIN ELECTRICAL SERVICE.
- LOCATE EQUIPMENT ON BACK OF THE ENTRANCE SIGN. SEE CIVIL SHEET C14.

### GENERAL ELECTRICAL NOTES

- CIRCUITS SHALL BE MINIMUM OF (2)#10,#10G,1"C.
- QUAD RECEPTACLES SHALL SHARE NEUTRAL AND SHALL BE (3)#10,#10G,1"C.
- EACH PEDESTAL AND QUAD RECEPTACLE SHALL HOMERUN. DO NOT COMBINE CIRCUITS.
- ALL CIRCUITS TO PANEL P1 SHALL BE ROUTED THROUGH CONTACTORS IN LIGHTING CONTROL PANEL.
- PROVIDE 2 LOW VOLTAGE LIGHTING FIXTURES AND LOW VOLTAGE TRANSFORMER FOR EACH OF THE TREES INDICATED TO HAVE QUAD RECEPTACLE. LIGHTING FIXTURE SHALL BE EQUAL TO LSE GREENLEE ALV SERIES WITH 5 WATT LED MR16 LAMP AND TREE MOUNT BRACKET. LOW VOLTAGE TRANSFORMER SHALL BE MOUNTED IN TREE WITH CORD AND PLUG TO RECEPTACLE. EXACT LOCATION OF LIGHTING FIXTURE AND AIMING SHALL BE DETERMINED BY OWNER.



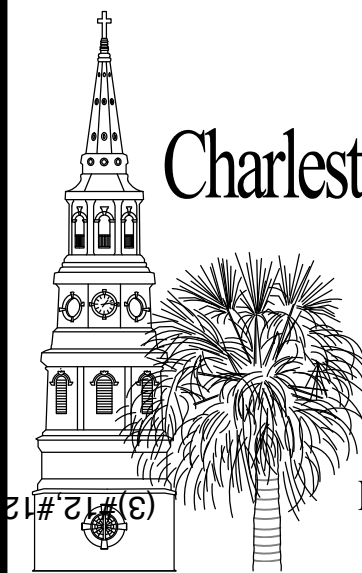




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Consultants



Charleston Engineering

125 B Wappoo Creek Dr.

Charleston, SC 29412

843-762-4242

Mechanical, Plumbing & Electrical

SECURE CABLE TO  
TREE WITH SS

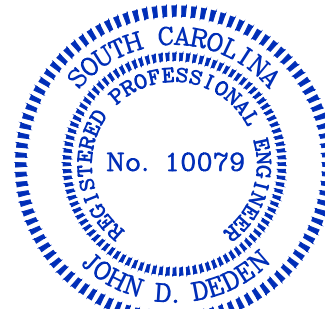
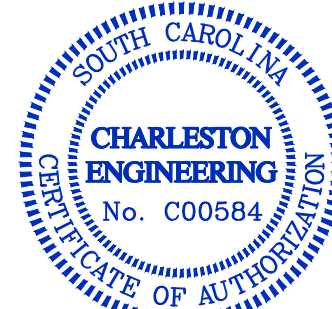
Notes

**This drawing is not to be used for construction purposes unless signed and sealed by the Engineer of Record and stamped "Approved For Construction." Use of this drawing for quantity take-offs and pricing is preliminary until all applicable permits have been obtained.**

Revision

Issued

Phase 1  
Holleberg Dwn. Deden Chkd. Deden Dsgn. 12.10.15  
YY.MM.DD



Client/Project

Title

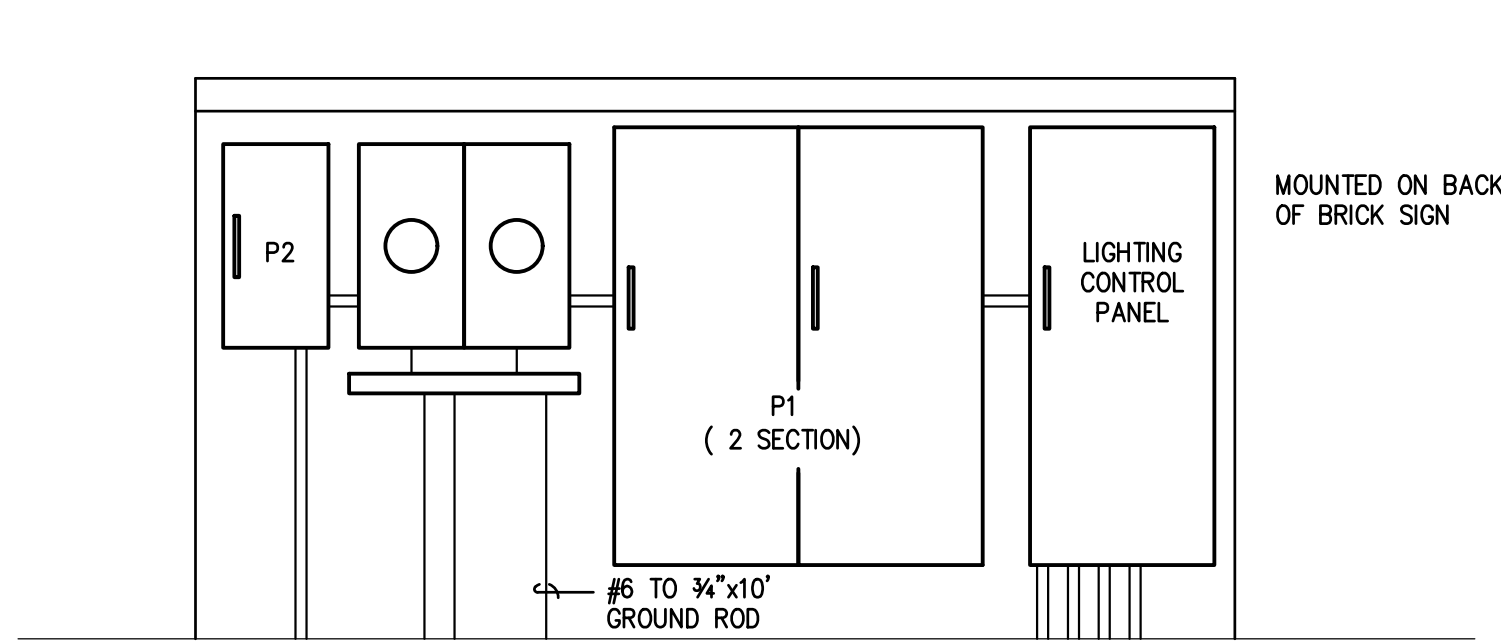
ELECTRICAL DETAILS

Project No. 1520 Scale 1"=10'-0"

Drawing No. Sheet Revision

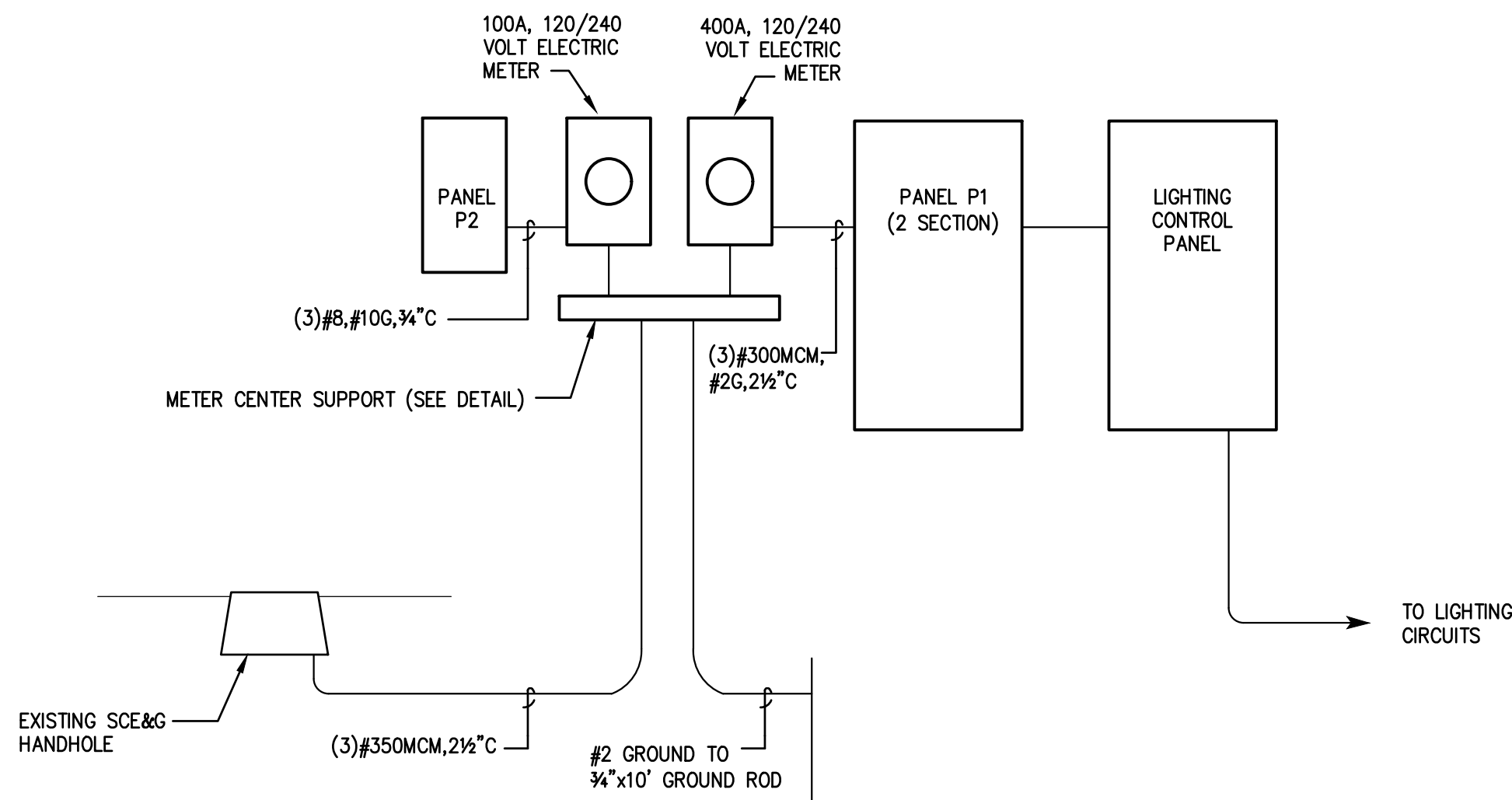
E2.1

1 of -



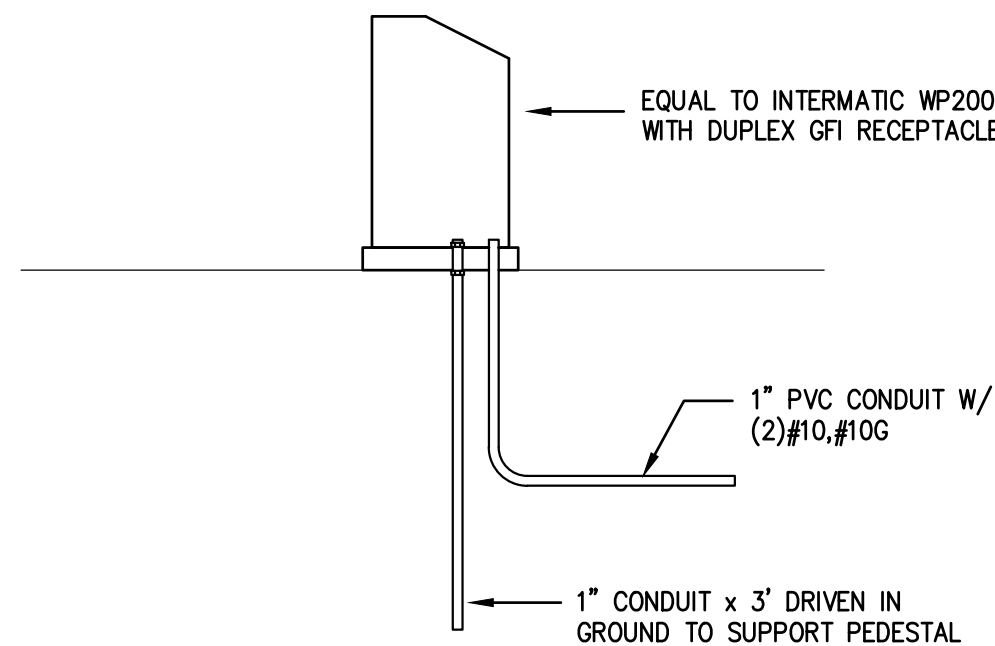
METER CENTER #1 SUPPORT DETAIL

NO SCALE



RISER DIAGRAM

NO SCALE



RECEPTACLE PEDESTAL DETAIL

NO SCALE

PANEL P1 ( 2 SECTION PANEL)

120/ 240 VOLT, 1 PHASE, 3 WIRE, 10,000 AIC, 300 AMP MAIN CIRCUIT BREAKER

CKT	DESCRIPTION	VA	TRIP	KVA		TRIP	VA	DESCRIPTION	CKT
				A	B				
1	LITTLE MAIN STREET LIGHTS	600	20/2	1.80		20/1	1200	PARK RECEPTACLE	2
3	---	600	---		1.80	20/1	1200	PARK RECEPTACLE	4
5	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	6
7	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	8
9	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	10
11	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	12
13	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	14
15	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	16
17	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	18
19	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	20
21	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	22
23	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	24
25	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	26
27	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	28
29	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	30
31	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	32
33	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	34
35	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	36
37	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	38
39	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	40
41	PARK RECEPTACLE	1200	20/1	2.40		20/1	1200	PARK RECEPTACLE	42
43	PARK RECEPTACLE	1200	20/1		2.40	20/1	1200	PARK RECEPTACLE	44
45	PARK AREA LIGHTS	500	20/2	1.70		20/1	1200	PARK RECEPTACLE	46
47	---	500	---		1.70	20/1	1200	PARK RECEPTACLE	48
49	SPARE		20/1	1.20		20/1	1200	PARK RECEPTACLE	50
51	SPARE		20/1		1.20	20/1	1200	PARK RECEPTACLE	52
53	SPARE		20/1			20/1		SPARE	54
55	SPARE		20/1			20/1		SPARE	56
57	SPARE		20/1			20/1		SPARE	58
59	SPARE		20/1			20/1		SPARE	60

TOTAL CONNECTED KVA 57  
CONNECTED AMPS 239

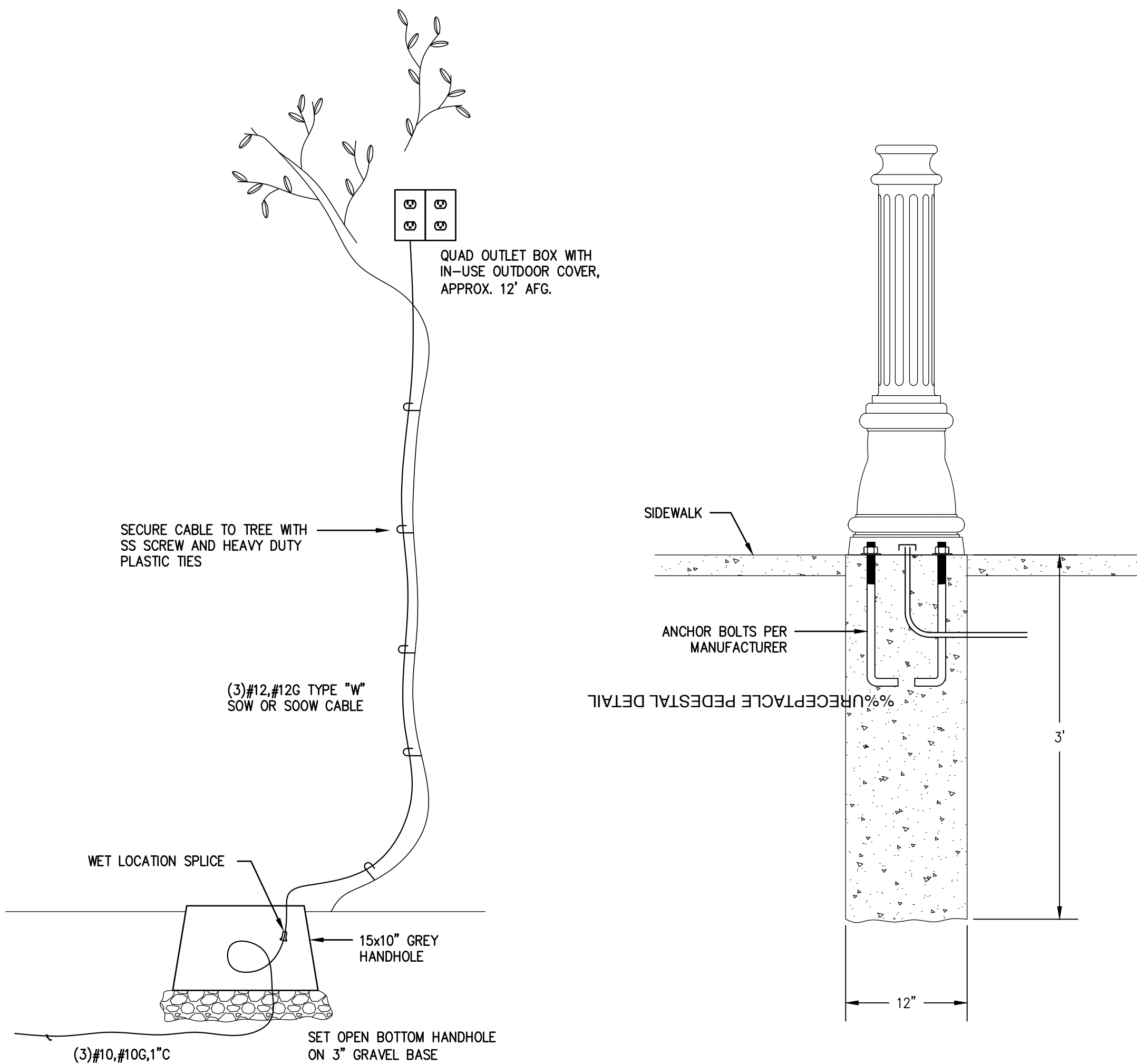
PANEL P2

120/ 240 VOLT, 1 PHASE, 3 WIRE, 10,000 AIC, 50 AMP MAIN CIRCUIT BREAKER

CKT	DESCRIPTION	VA	TRIP	KVA		TRIP	VA	DESCRIPTION	CKT
				A	B				
1	TRAFFIC SIGNAL	600	20/1	1.20		20/1	600	TRAFFIC SIGNAL	2
3	TRAFFIC SIGNAL	600	20/1		0.60			SPACE	4
5	SPACE							SPACE	6
7	SPACE							SPACE	8
9	SPACE							SPACE	10
11	SPACE							SPACE	12

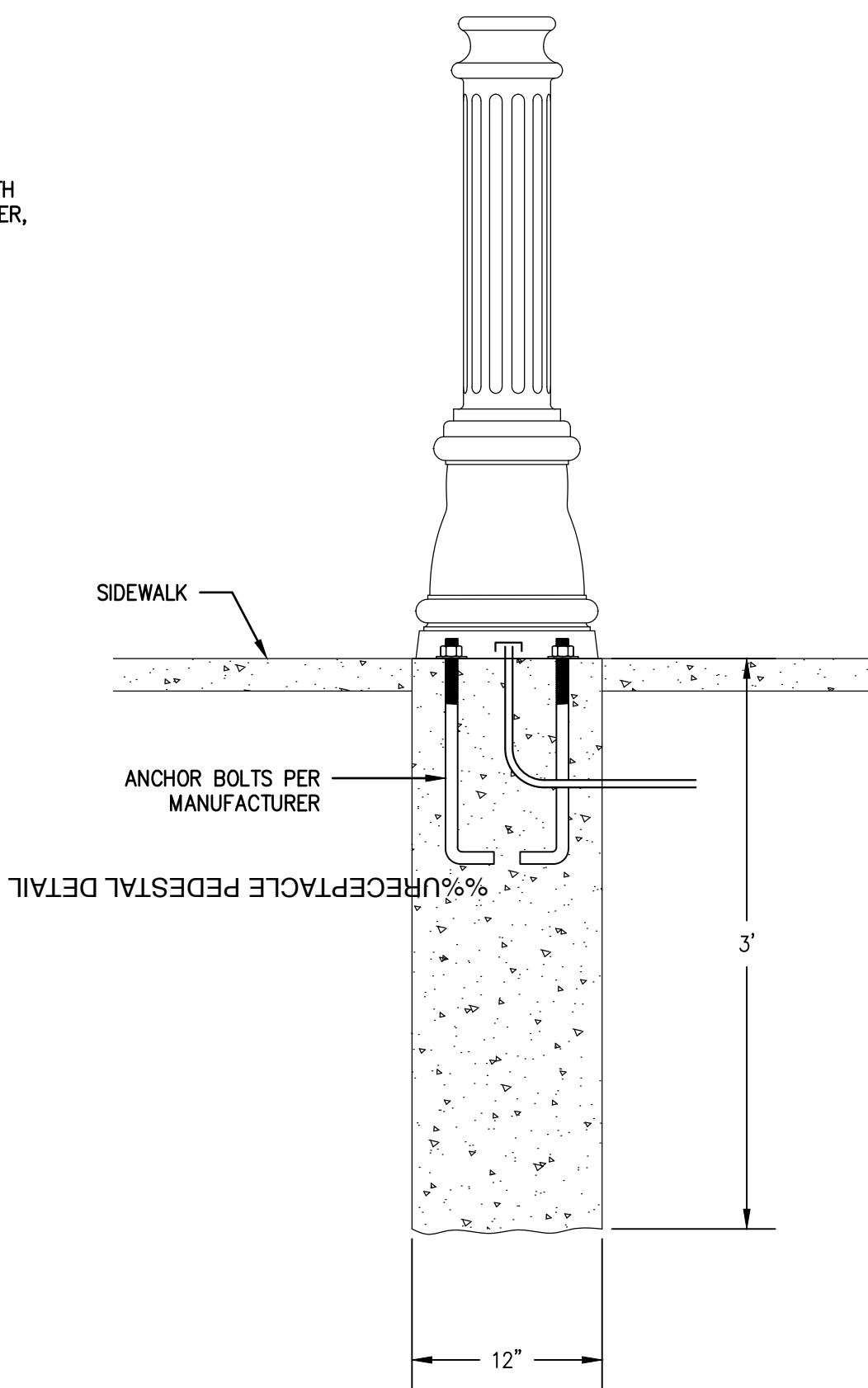
TOTAL CONNECTED KVA 2  
CONNECTED AMPS 8

LIGHTING FIXTURE SCHEDULE					
FIXTURE LETTER	DESCRIPTION	MANUFACTURER (OR EQUAL)	FIXTURE NUMBER	VOLTAGE	LAMPS
F1	14' POLE AND AREA LIGHT	HOLOPHANE	CH A 09 FSJ 12 P05 ABG GN/ AWDE 80 4K AS L N 3 N S G	208	80 WATT LED
F2	RETRO-FIT KIT FOR NEW LED LAMP	HOLOPHANE	AWDEORIGRETRO 80 4K AS G 3	208	80 WATT LED



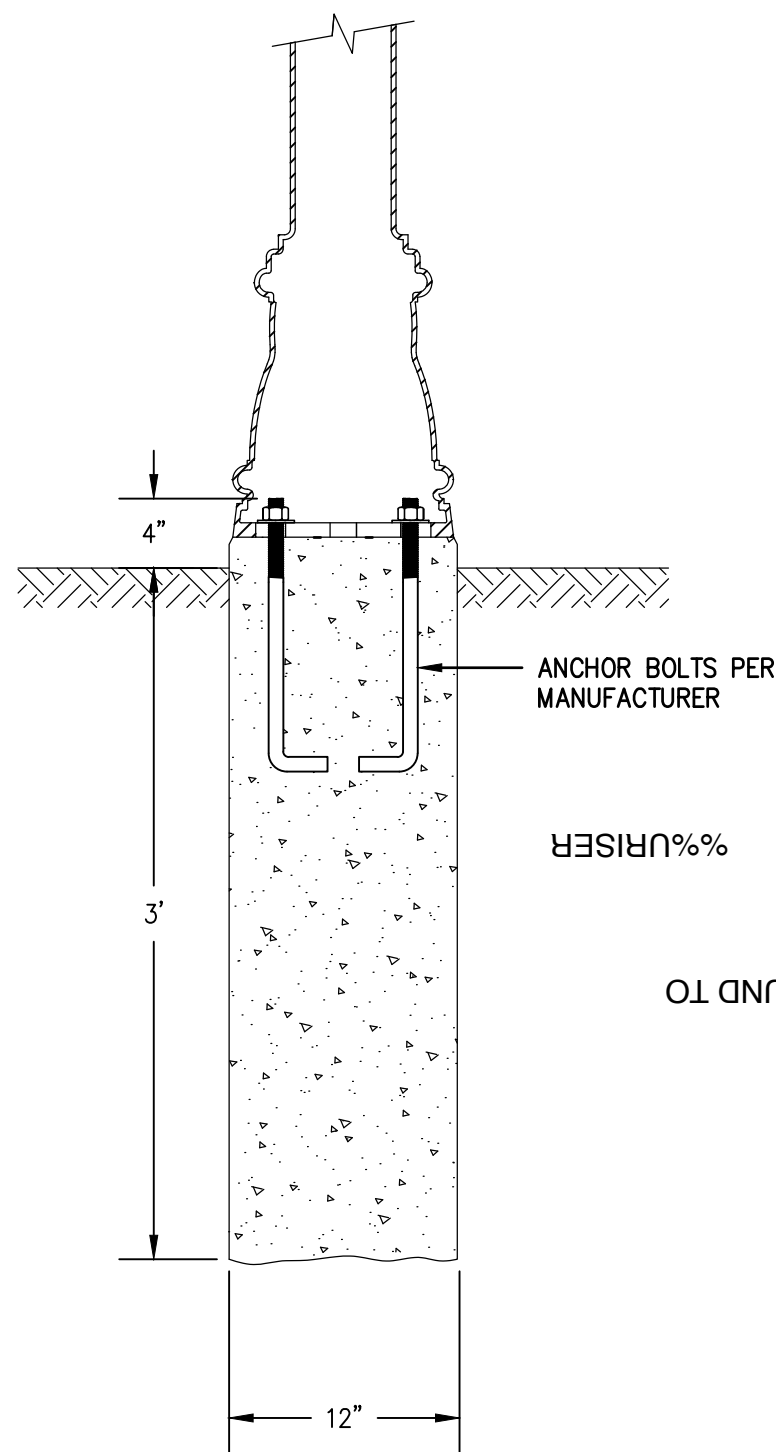
TREE RECEPTACLE DETAIL

NO SCALE



LIGHT POLE BASE DETAIL  
IN SIDEWALK

NO SCALE



LIGHT POLE BASE DETAIL  
ON GRADE

NO SCALE

- ALL ANGLES ARE 90° DEGREES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR
- THE CONTRACTOR SHALL REVIEW THE EXISTING SITE CONDITIONS PRIOR TO BIDDING AND IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT.
- THE LIMIT OF WORK IS CONFINED TO AREAS WITHIN THE CLEARING LIMITS UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL USE THIS DRAWING FOR STAKE OUT OF ALL SITE ELEMENTS IN THE FIELD AND SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND PROVIDING A SMOOTH TRANSITION INTO EXISTING GRADES, GRADE TO PREVENT PONDING AND TO PROVIDE POSITIVE DRAINAGE FROM STRUCTURES.


Revision	By	Appd.	YY.MM.DD
1. For Review	JUL/MS	CJH	15.12.11
Issued	By	Appd.	YY.MM.DD

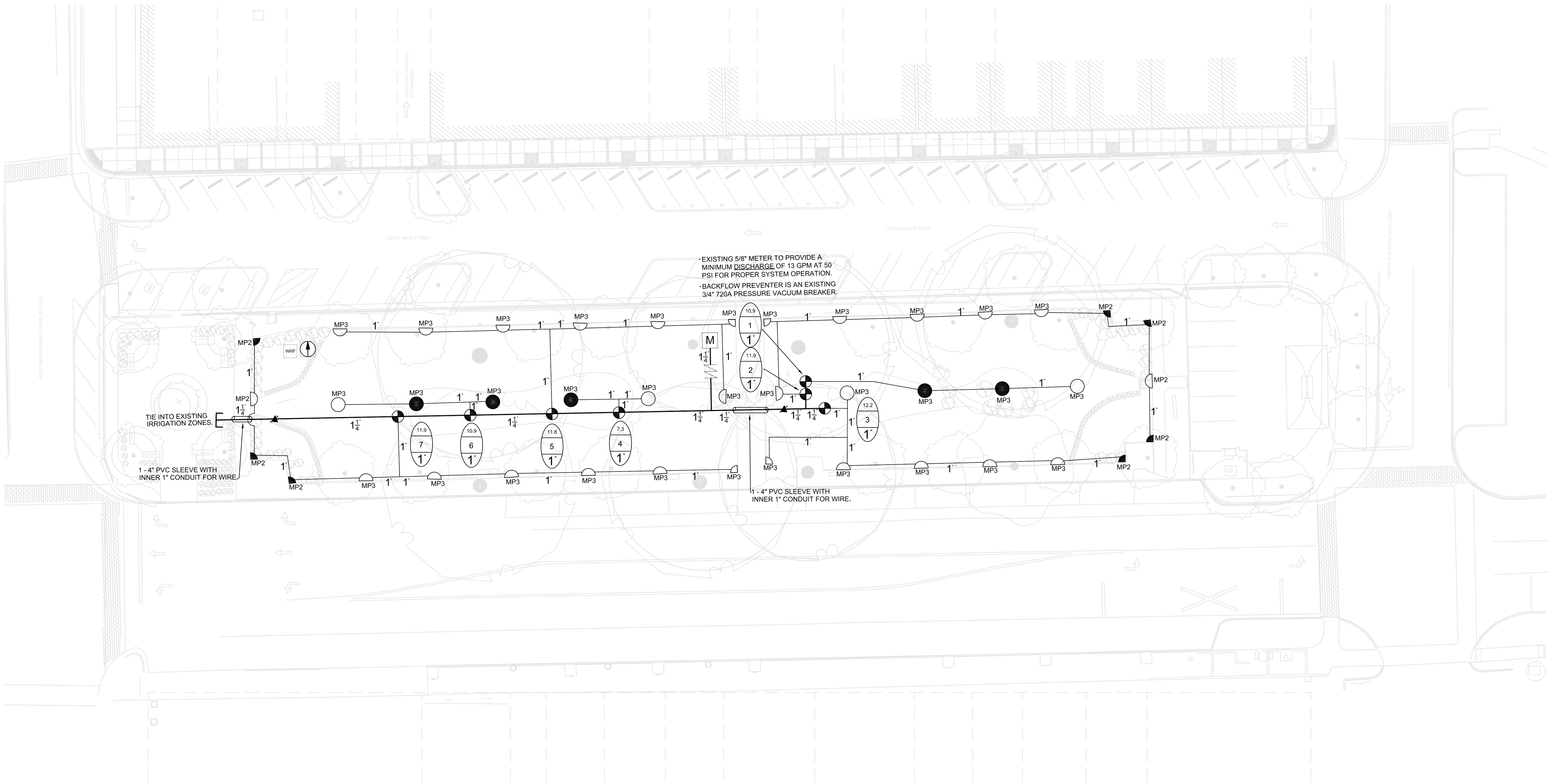
File Name:			
	Dwn.	Chkd.	Dsgn.
			YY.MM.DD

Client/Project  
Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

IRRIGATION OVERVIEW

Project No. 178420699	Scale 1" = 20' - 0"	
Drawing No.	Sheet	Revision





1. ALL ANGLES ARE 90° DEGREES UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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Revision	By	Appd.	YY.MM.DD

1. For Review	JUL/MS	CJH	15.12.11
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File Name:			
Permit-Seal	Dwn.	Chkd.	Dsgn.

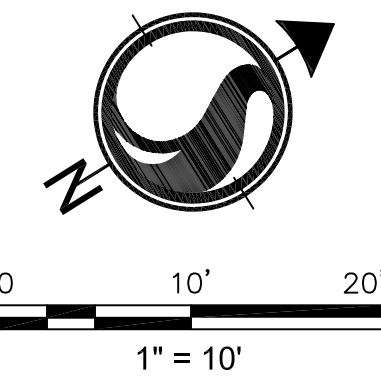
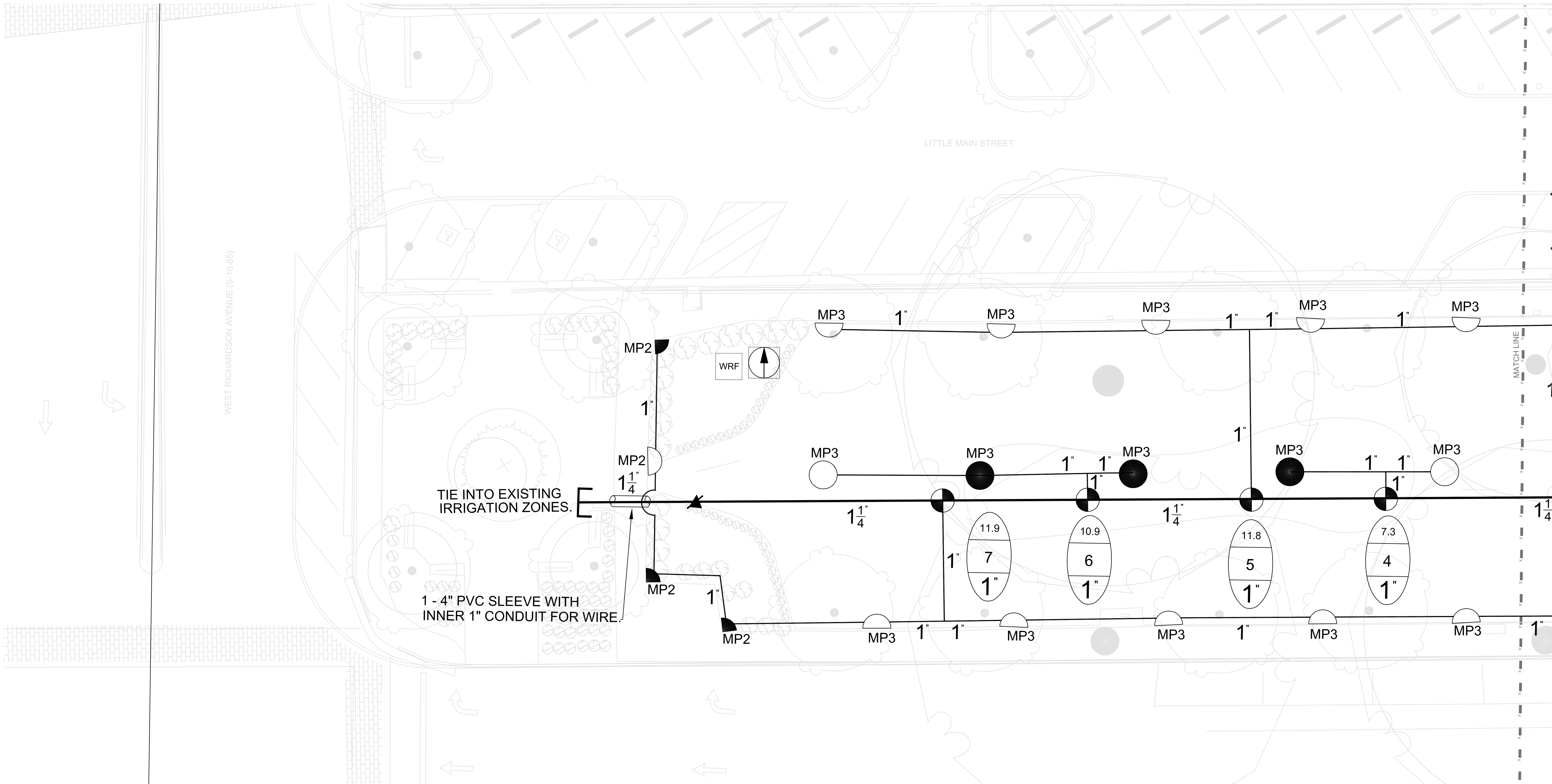
Client/Project  
Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I  
Summerville, SC

Title

SPRAY IRRIGATION LAYOUT

Project No. 178420699	Scale 1" = 10' - 0"	
Drawing No.	Sheet	Revision





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1. For Review	JUL/MS	CJH	15.12.11
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File Name:			
	Dwn.	Chkd.	Dsgn.

Permit-Seal

Client/Project

Town of Summerville

HUTCHINSON SQUARE IMPROVEMENTS  
PHASE I

Summerville, SC

Title

SPRAY IRRIGATION LAYOUT

Project No.	Scale
178420699	1" = 10' - 0"
Drawing No.	Sheet
	Revision

I-3

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